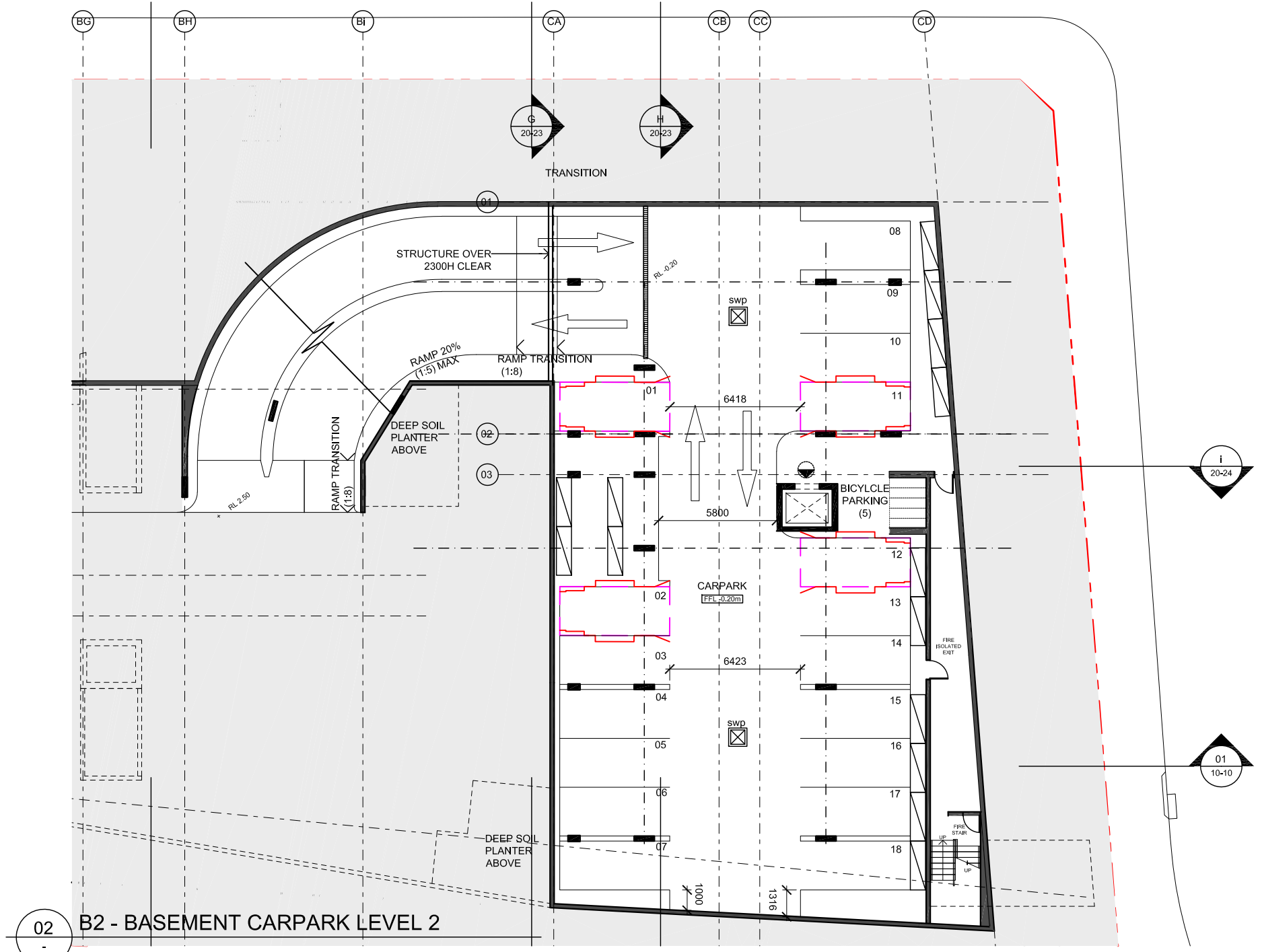
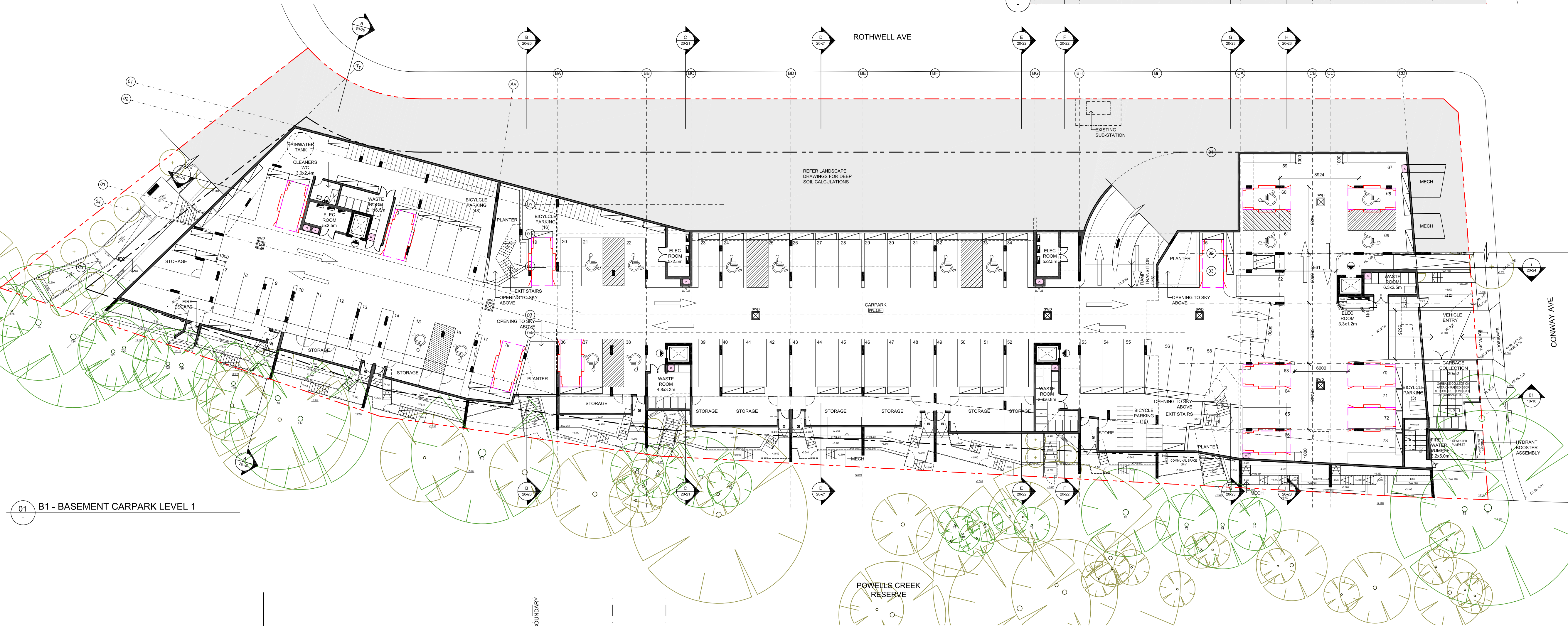


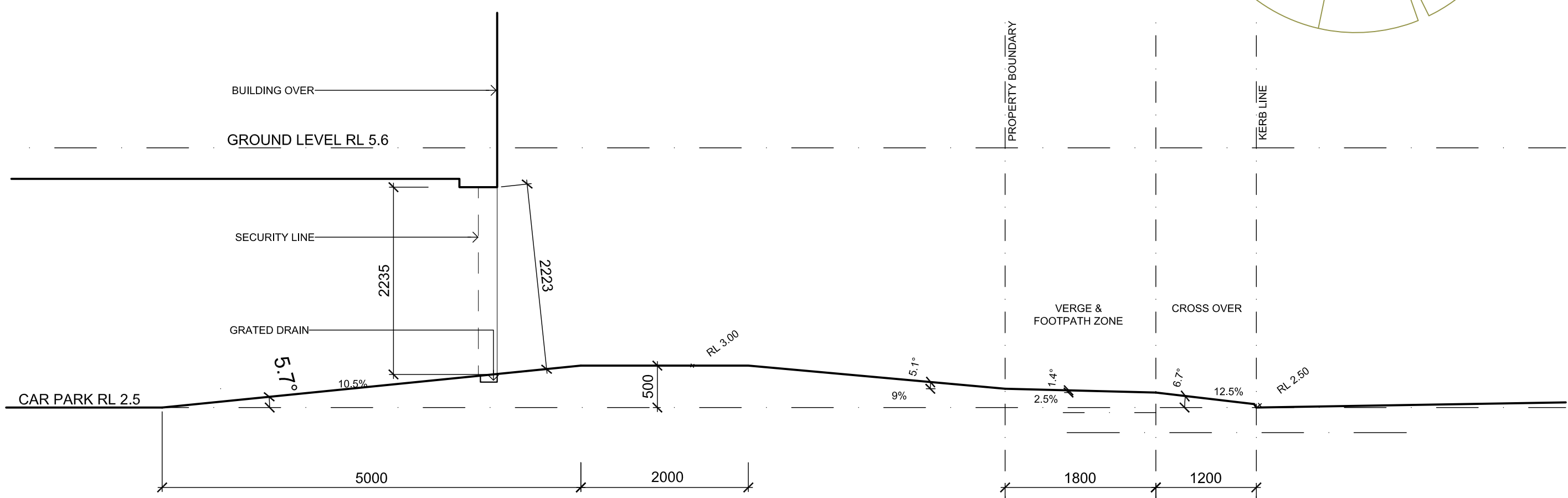
04 RAMP LONGITUDINAL SECTION
1:250@A1



02 B2 - BASEMENT CARPARK LEVEL 2



01 B1 - BASEMENT CARPARK LEVEL 1



03 DRIVEWAY LONGITUDINAL SECTION
1:500@A1

GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

CONFIRM ALL DIMENSIONS AND SETOUTS ON SITE
PRIOR TO MANUFACTURE & INSTALLATION

ALL WORK IN ACCORDANCE WITH
RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

CARPARK SCHEDULE	
	QUANTITY
CARPARKING SPACES B1 *INC. ACCESSIBLE	73
CARPARKING SPACES B2	18
TOTAL CARPARKING SPACES *INC. ACCESSIBLE	91
ACCESSIBLE CARPARKING SPACES	14
BICYCLE SPACES (CARPARK)	88
BICYCLE SPACES (VISITOR - refer landscape plans)	10
STORAGE UNITS @3.0M EA	88

- PROPERTY BOUNDARY
- EXISTING STRUCTURE - TO BE DEMOLISHED
- DEEP SOIL AREA
- FINISHED FLOOR LEVEL
- SWP
- COMM
- ELEC
- FHR
- POS
- TW 0.00m
- TOP OF WALL
- ZONE FOR SERVICE PENETRATION
- SERVICE
- GROSS FLOOR AREA
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- CORRIDOR
- STORAGE CUPBOARD
- FRIDGE
- LAUNDRY
- TILE 1
- TILE 2
- TIMBER FLOOR

- 09 25.09.19 DRIVEWAY & CARPARK ADJUSTED TO SUIT FLOOD IMPACTS
- 08 08.08.19 CARPARK ADJUSTED TO SUIT COUNCIL COMMENTS
- 07 09.05.19 DA ISSUE
- 06 11.04.19 FOR INFORMATION
- 05 20.02.19 DRAFT DA ISSUED
- 04 18.1.19 DRAFT DA ISSUED
- 03 06.12.18 FOR INFORMATION
- 02 27.11.18 FOR INFORMATION
- 01 07.11.18 FOR CO-ORDINATION

Rev Date Description

sydney Level 2, 79 Myrtle St.
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
T 02 9698 2198
F 02 9698 2353

hobart 181 Elizabeth St, Hobart 7000
Nominated Architect: Scott Balmforth 564
T 03 6234 6372
F 03 6231 4939

Matthew Pullinger 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
Architect T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:
CONCORD WEST
ROTHWELL AVE
APARTMENTS
Drawing Description:
BASEMENT CARPARK PLANS

Drawn by: BC
Checked by: CR
Date Plotted: 9/24/2019
Project No: 17309
File No: PL_Carpark
Scale: 1:250@A1

DWG NO: DA-10-10 REV NO: 09

Drawing Status: DEV. APPLICATION

GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

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TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

- PROPERTY BOUNDARY
- EXISTING STRUCTURE - TO BE DEMOLISHED
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- FRIDGE
- LAUNDRY
- TILE 1
- TILE 2
- TIMBER FLOOR



08	25.09.19	UPDATE THRU SITE LINK & DRIVEWAY & GARBAGE ROOMS
07	09.05.19	DA ISSUE
06	11.04.19	FOR INFORMATION
05	20.02.19	DRAFT DA ISSUED
04	18.1.19	DRAFT DA ISSUED
03	11.12.18	FOR INFORMATION
02	27.11.18	FOR INFORMATION
01	07.11.18	FOR INFORMATION
		FOR CO-ORDINATION

Rev Date
Description

sydney Level 2, 79 Myrtle St,
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
T 02 9698 2198
F 02 9698 2353

hobart 181 Elizabeth St, Hobart 7000
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T 03 6234 6372
F 03 6231 4939

Matthew Pullinger 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
Architect T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:
CONCORD WEST
ROTHWELL AVE
APARTMENTS

Drawing Description:
GROUND FLOOR PLAN

Drawn by:	Checked by:	Date Plotted:
BC	CR	9/24/2019
Project No:	File No:	Scale:
17309	PL_GROUND_Plan	1:250@A1

DWG NO: DA-10-20 REV NO: 08

Drawing Status: DEV. APPLICATION



GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

CONFIRM ALL DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE & INSTALLATION

ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH ENGINEERS DOCUMENTS

LEGEND

- PROPERTY BOUNDARY
- EXISTING STRUCTURE - TO BE DEMOLISHED
- DEEP SOIL AREA
- FINISHED FLOOR LEVEL
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- TILE 1
- TILE 2
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08	25.09.19	UPDATE THRU SITE LINK & DRIVEWAY & GARBAGE ROOMS
07	09.05.19	DA ISSUE
06	11.04.19	FOR INFORMATION
05	20.02.19	DRAFT DA ISSUED
04	18.1.19	DRAFT DA ISSUED
03	11.12.18	FOR INFORMATION
02	27.11.18	FOR INFORMATION
01	07.11.18	FOR CO-ORDINATION

Rev Date Description

sydney Level 2, 79 Myrtle St
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
T 02 9698 2198
F 02 9698 2353

hobart 181 Elizabeth St, Hobart 7000
Nominated Architect: Scott Balmforth 564
T 03 6234 6372
F 03 6231 4939

Matthew Pullinger 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:

CONCORD WEST

ROTHWELL AVE

APARTMENTS

Drawing Description:

GROUND FLOOR PLAN

BLOCK A

Drawn by:	Checked by:	Date Plotted:
BC	CR	4/11/2019
Project No:	File No:	Scale:
17309	PL_GROUND_Plan	1:100@A1

DWG NO: DA-10-21 REV NO: 08

Drawing Status: DEV. APPLICATION

GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

CONFIRM ALL DIMENSIONS AND SETOUTS ON SITE
PRIOR TO MANUFACTURE & INSTALLATION

ALL WORK IN ACCORDANCE WITH
RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

- PROPERTY BOUNDARY
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- FRIDGE
- LAUNDRY
- TILE 1
- TILE 2
- TIMBER FLOOR

- 08 25.09.19 UPDATE THRU SITE LINK & DRIVEWAY & GARBAGE ROOMS
- 07 09.05.19 DA ISSUE
- 06 11.04.19 FOR INFORMATION
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- 01 07.11.18 FOR CO-ORDINATION

Rev Date

Description

sydney Level 2, 79 Myrtle St
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
T 02 9698 2198
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T 03 6234 6372
F 03 6231 4939

Matthew Pullinger Architect 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:

CONCORD WEST

ROTHWELL AVE

APARTMENTS

Drawing Description:

GROUND FLOOR PLAN

BLOCK B

Drawn by:

BC

Project No:

17309

DWG NO:

DA-10-22

Drawing Status:

DEV. APPLICATION

Checked by:

CR

File No:

PL_GROUND_Plan

Scale:

1:100@A1

Date Plotted:

4/11/2019

REV NO: 08

DEV. APPLICATION



GENERAL NOTES
DO NOT SCALE FROM THIS DRAWING

CONFIRM ALL DIMENSIONS AND SETOUTS ON SITE PRIOR TO MANUFACTURE & INSTALLATION

ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH ENGINEERS DOCUMENTS

LEGEND

- PROPERTY BOUNDARY
- EXISTING STRUCTURE - TO BE DEMOLISHED
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- TILE 2
- TIMBER FLOOR

08	25.09.19	UPDATE THRU SITE LINK & DRIVEWAY & GARBAGE ROOMS
07	09.05.19	DA ISSUE
06	11.04.19	FOR INFORMATION
05	20.02.19	DRAFT DA ISSUED
04	18.1.19	DRAFT DA ISSUED
03	11.12.18	FOR INFORMATION
02	27.11.18	FOR INFORMATION
01	07.11.18	FOR CO-ORDINATION

Rev	Date	Description
sydney	Level 2, 79 Myrtle St Chippendale, NSW 2008 Nominated Architect: Gerard Reilmuth 6629 T 02 9698 2198 F 02 9698 2353	
hobart	181 Elizabeth St, Hobart 7000 Nominated Architect: Scott Balmforth 564 T 03 6234 6372 F 03 6231 4939	
Matthew Pullinger Architect	4 Phillips St, Alexandria NSW 2015 Nominated Architect: Matthew Pullinger 6226 T 0413 990 052	

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:
CONCORD WEST
ROTHWELL AVE
APARTMENTS

Drawing Description:
GROUND FLOOR PLAN
BLOCK C

Drawn by:	Checked by:	Date Plotted:
BC	CR	4/11/2019
Project No:	File No:	Scale:
17309	PL_GROUND_Plan	1:100@A1

DWG NO: DA-10-23 REV NO: 08

Drawing Status: DEV. APPLICATION

GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

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PRIOR TO MANUFACTURE & INSTALLATION

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RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

- PROPERTY BOUNDARY
- EXISTING STRUCTURE - TO BE DEMOLISHED
- DEEP SOIL AREA
- FINISHED FLOOR LEVEL
- SWP
- COMM
- ELEC
- FHR
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- SERVICE
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- FRIDGE
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- TILE 1
- TILE 2
- TIMBER FLOOR



07	25.09.19	UPDATE THRU SITE LINK & DRIVEWAY & GARBAGE ROOMS
06	09.05.19	DA ISSUE
05	20.02.19	DRAFT DA ISSUED
04	18.1.19	DRAFT DA ISSUED
03	11.12.18	FOR INFORMATION
02	27.11.18	FOR INFORMATION
01	07.11.18	FOR CO-ORDINATION

Rev Date
Description

sydney Level 2, 79 Myrtle St,
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
T 02 9698 2198
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T 03 6234 6372
F 03 6231 4939

Matthew Pullinger 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:
CONCORD WEST
ROTHWELL AVE
APARTMENTS
Drawing Description:
TYPICAL FLOOR PLAN

Drawn by:	Checked by:	Date Plotted:
BC	CR	1/18/2019
Project No:	File No:	Scale:
17309	PL_TYP_Plan	1:250@A1

DWG NO: DA-10-30 REV NO: 07

Drawing Status: DEV. APPLICATION

GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

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PRIOR TO MANUFACTURE & INSTALLATION

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RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

- PROPERTY BOUNDARY
- EXISTING STRUCTURE - TO BE DEMOLISHED
- DEEP SOIL AREA
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- FRIDGE
- LAUNDRY
- TILE 1
- TILE 2
- TIMBER FLOOR

- 07 25.09.19 UPDATE THRU SITE LINK & DRIVEWAY & GARBAGE ROOMS
- 06 09.05.19 DA ISSUE
- 05 20.02.19 DRAFT DA ISSUED
- 04 18.1.19 DRAFT DA ISSUED
- 03 11.12.18 FOR INFORMATION
- 02 27.11.18 FOR INFORMATION
- 01 07.11.18 FOR CO-ORDINATION

Rev Date
Description

sydney Level 2, 79 Myrtle St
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
T 02 9698 2198
F 02 9698 2353

hobart 181 Elizabeth St, Hobart 7000
Nominated Architect: Scott Balmforth 564
T 03 6234 6372
F 03 6231 4939

Matthew Pullinger 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:
CONCORD WEST
ROTHWELL AVE
APARTMENTS

Drawing Description:
TYPICAL FLOOR PLAN
BLOCK A

Drawn by: BC
Checked by: CR
Date Plotted: 1/18/2019
Project No: 17309
File No: PL_TYP_Plan
Scale: 1:100@A1

DWG NO: DA-10-31 REV NO: 07

Drawing Status: DEV. APPLICATION

GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

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PRIOR TO MANUFACTURE & INSTALLATION

ALL WORK IN ACCORDANCE WITH
RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

- PROPERTY BOUNDARY
- EXISTING STRUCTURE - TO BE DEMOLISHED
- DEEP SOIL AREA
- FINISHED FLOOR LEVEL
- SWP
- COMM
- ELEC
- FHR
- POS
- TW 0.00m
- TOP OF WALL
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- GROSS FLOOR AREA
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- CORRIDOR
- STORAGE CUPBOARD
- FRIDGE
- LAUNDRY
- TILE 1
- TILE 2
- TIMBER FLOOR

- 07 25.09.19 UPDATE THRU SITE LINK & DRIVEWAY & GARBAGE ROOMS
- 06 09.05.19 DA ISSUE
- 05 20.02.19 DA ISSUE
- 04 18.11.19 DRAFT DA ISSUED
- 03 11.12.18 FOR INFORMATION
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- 01 07.11.18 FOR CO-ORDINATION

Rev Date
Description

sydney Level 2, 79 Myrtle St
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
T 02 9698 2198
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hobart 181 Elizabeth St, Hobart 7000
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T 03 6234 6372
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Matthew Pullinger 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
Architect T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:
CONCORD WEST
ROTHWELL AVE
APARTMENTS

Drawing Description:
TYPICAL FLOOR PLAN
BLOCK B

Drawn by: BC Checked by: CR Date Plotted: 1/18/2019
Project No: 17309 File No: PL_TYP_Plan Scale: 1:100@A1

DWG NO: DA-10-32 REV NO: 07

Drawing Status: DEV. APPLICATION

POWELLS CREEK RESERVE



GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

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PRIOR TO MANUFACTURE & INSTALLATION

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RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

---	PROPERTY BOUNDARY
---	EXISTING STRUCTURE - TO BE DEMOLISHED
---	DEEP SOIL AREA
---	FINISHED FLOOR LEVEL
---	SWP
---	COMM
---	ELEC
---	FHR
---	POS
---	TW 0.00m
---	TOP OF WALL
---	ZONE FOR SERVICE PENETRATION
---	SERVICE
---	GROSS FLOOR AREA
---	1 BEDROOM
---	2 BEDROOM
---	3 BEDROOM
---	CORRIDOR
---	STORAGE CUPBOARD
---	FRIDGE
---	LAUNDRY
---	TILE 1
---	TILE 2
---	TIMBER FLOOR

07	25.09.19	UPDATE THRU SITE LINK & DRIVEWAY & GARBAGE ROOMS
06	09.05.19	DA ISSUE
05	20.02.18	DRAFT DA ISSUED
04	18.1.19	DRAFT DA ISSUED
03	11.12.18	FOR INFORMATION
02	27.11.18	FOR INFORMATION
01	07.11.18	FOR CO-ORDINATION

Rev	Date	Description
-----	------	-------------

sydney Level 2, 79 Myrtle St,
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
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F 03 6231 4939

Matthew Pullinger 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:
CONCORD WEST
ROTHWELL AVE
APARTMENTS

Drawing Description:
TYPICAL FLOOR PLAN
BLOCK C

Drawn by:	Checked by:	Date Plotted:
BC	CR	1/18/2019
Project No:	File No:	Scale:
17309	PL_TYP_Plan	1:100@A1

DWG NO: DA-10-33 REV NO: 07

Drawing Status: DEV. APPLICATION

POWELLS CREEK RESERVE

CONWAY AVE



GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

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PRIOR TO MANUFACTURE & INSTALLATION

ALL WORK IN ACCORDANCE WITH
RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

ACH	ACCESS HATCH
ADJ	ADJUSTABLE SHELVES
AP	ACOUSTIC PANEL, REFER FFF
AVR	AUDIO VISUAL RACK
BAL	GLASS BALUSTRADE
BARRE	FLOOR MOUNTED BALLET BARRE
BL1	ROLLER BLIND
CH	COAT HOOK
COMMS	COMMUNICATIONS RACK
CP	CABLE PORT
CR	CLOTHES RAIL
CT	CURTAIN TRACK, REFER FFF
CU	WOOL ACOUSTIC CURTAIN, REFER FFF
DB	DATA BOARD
DP	DOWN PIPE
DR	DRAWER
EXIT	EXIT SIGN, REFER FFF
FD	FILE DRAWER
FL	FLASHING
GH1	PROPRIETARY GUITAR HOOK
GH2	CUSTOM DUAL GUITAR HOOK
GR	GRAB RAIL
HR	HAND RAIL
JH	JOINERY HANDLE, REFER FFF
LAM	LAMINATE, REFER FFF
LEDS	SMALL FORMAT INTERNAL LED STRIP LIGHT, REFER FFF
MG	MECHANICAL GRILL
MI	MIRROR
MICRO	MICROWAVE
PA	PAINT COLOUR, REFER FFF
PB	PLASTER BOARD
PBAC	PERFORATED PLASTERBOARD / PLASTERBOARD FLUSH SET
PC	POWDER COAT, REFER FFF
PLY	PLYWOOD, REFER FFF
PR	50MM MDF PAINTED PICTURE RAIL
PROJ	PROJECTOR
PT	PAPER TOWEL DISPENSER
SHW	SHOWER
SK	SKIRTING, REFER FFF
SKY	SKY LIGHT
SNK	SINK, REFER FFF
TMV	THERMO MIX VALVE, CONCEALED WITHIN WALL, FLUSH FINISH ACCESS PANEL
TP	TECHNICAL PANEL
TRAN	LEVEL TRANSITION TO THRESHOLDS
WC	TOILET
WS	WALL MOUNTED SPEAKER
WSC	WORK STATION CRADLE
WT	WALL TILE, REFER FFF

FFF = FIXTURES, FITTINGS, FINISHES SCHEDULE

06	25.09.19	UPDATE THRU SITE LINK & DRIVEWAY
05	09.05.19	DA ISSUE
04	20.02.19	DRAFT DA ISSUED
03	18.1.19	DRAFT DA ISSUED
02	11.12.18	FOR INFORMATION
01	09.11.18	FOR CO-ORDINATION

Rev Date
Description

sydney Level 2, 79 Myrtle St,
Chippendale, NSW 2008
Nominated Architect: Gerard Reilmuth 6629
T 02 9698 2198
F 02 9698 2353

hobart 181 Elizabeth St, Hobart 7000
Nominated Architect: Scott Balmforth 564
T 03 6234 6372
F 03 6231 4939

Matthew Pullinger 4 Phillips St, Alexandria NSW 2015
Nominated Architect: Matthew Pullinger 6226
T 0413 990 052

TERROIR

MATTHEW PULLINGER ARCHITECT

Project:

CONCORD WEST
ROTHWELL AVE
APARTMENTS

Drawing Description:
ROOF PLAN

Drawn by:	Checked by:	Date Plotted:
BC	CR	1/18/2019
Project No:	File No:	Scale:
17309	PL_Roof_Plan	1:250@A1

DWG NO: DA-10-40 REV NO: 06

Drawing Status: DEV. APPLICATION

Rothwell Avenue Apartments | Landscape DA Package

2, 2A & 4 Rothwell Avenue Concord West NSW 2138

Drawing register:

Drawing No.:	Drawing title:	Scale:	Issue:
1822-01	Titlesheet - Drawing Register, General Notes & Extent of Works Plan	1:500 at A1	B
1822-02	Landscape Design Statement, Location Plan, Design Intent Diagrams	N/A at A1	B
1822-03	Overall Site Plan	1:250 at A1	B
1822-04	Landscape DA Plan 1 of 4	1:100 at A1	B
1822-05	Landscape DA Plan 2 of 4	1:100 at A1	B
1822-06	Landscape DA Plan 3 of 4	1:100 at A1	B
1822-07	Landscape DA Plan 4 of 4 (Basement)	1:200 at A1	B
1822-08	Elevation A, Elevation B, Elevation C	1:200 at A1	B
1822-09	Sectional Elevation A, Sectional Elevation B, Sectional Elevation C	1:100 at A1	B
1822-010	Sectional Elevation D, Sectional Elevation E	1:100 at A1	B
1822-011	Groundfloor Terraces Street / Grassed Area Interface Typical Plan & Sections	1:50 at A1	B
1822-012	Groundfloor Terraces Powells Creek Reserve Interface Typical Plan & Sections	1:50 at A1	B
1822-013	Planting DA Plan 1 of 1	1:250 at A1	B
1822-014	Plant Schedule & Maintenance Notes/Requirements, Plant Images 1 of 2	N/A at A1	B
1822-015	Plant Schedule & Maintenance Notes/Requirements, Plant Images 2 of 2	N/A at A1	B
1822-016	Existing Tree Plan (information only - refer to arborist report)	1:250 at A1	B
1822-017	Indicative Materials & Finishes Palette	N/A at A1	B

General notes:

- + Not for pricing or construction.
- + Subject to detailed design and documentation.
- + Subject to Council approvals.
- + Refer to 'Terroir & Matthew Pullinger Architects' documentation for all building works.
- + Refer to engineer documentation for all external services, including stormwater drainage, lighting, hydraulic etc.
- + All existing site levels within landscape softscape zones to be retained, unless otherwise documented.
- + Structures, shelters, podiums, stairs, pavement design, fences, walls, balustrades, furniture etc subject to detailed design and engineering design.
- + Planting subject to availability at time of tender and construction.
- + Construction works to include sediment and erosion control fencing along lower boundary to ensure all sediment runoff contained on-site.
- + All landscape areas within property boundary (excluding public easement) including at-grade and on-podium to include a fully automated irrigation system, subject to detailed design by irrigation consultant.
- + All streetscape works, including existing trees, are to be retained and protected. Any damage to street trees or streetscape works are to be made good at the contractors expense.

Project information:

Client:	Eloura Holdings Pty Ltd
Site:	Lot 1 in DP 215341 (2 Rothwell Avenue), Lot 2 in DP 215341 (2A Rothwell Avenue) , Lot X in DP 404807 (4 Rothwell Avenue)
LGA:	City of Canada Bay Council
Landscape architect:	Paddock Studio
Architect:	Terroir Architects, Matthew Pullinger Architects
Planner:	City Plan
Surveyor:	Higgins Surveyors
Traffic consultant:	ARUP
Geotechnical engineer:	WSP
Civil engineer:	Woolacotts
Hydraulic engineer:	Woolacotts
Structural engineer:	ADG
Electrical engineer:	Northrop
Mechanical engineer:	Northrop
Basix consultant:	Northrop
BCA consultant:	Vic Lilli
Access consultant:	Vista Access
Quantity surveyor:	Bylett + Associates
Arborist:	Tree IQ
Site area:	6,084 m ²
Total softscape areas:	1,832 m ² (30%)
Total garden areas:	1,406 m ²
Communal lawn areas:	426 m ²
Deep soil planting areas:	1,001 m ² (16.5%)



Site Plan - Extent of Landscape Works



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Architects:

TERROIR MATTHEW PULLINGER ARCHITECT

Issue: A
Date: 07/05/19
Reason: For DA Submission
For DA Submission

Reviewed by: DW
DW

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West

Client: eloura holdings

Title: Titlesheet
Drawing Register, General Notes & Extent of Works Plan

Project No.: 1822
Date: 20.09.19
Scale: 1:500 @ A1



Drawing: 1822-01

Issue: B

Landscape Design Statement:

Conceived as apartments within a ‘park’, the built form of the Rothwell Avenue Apartments has been articulated and setback from Rothwell Avenue allowing for a generous vegetated frontage to the streetscape that improves connections to the adjacent natural open space areas.

Careful consideration between the interface of ground floor dwellings with adjacent public spaces and the Powells Creek Reserve has resulted in a series of lush terraced gardens that play a pivotal role between public and private life by ensuring engagement with and passive surveillance of public spaces is established. This is further enhanced through a new public laneway along the northern boundary that connects the broader Concord West precinct with Powells Creek Reserve and the surrounding open space network. This public pedestrian connection has been designed in consultation with the City of Canada Bay’s design team to ensure it meets their objectives set out within the Concord West DCP and also Council’s public domain design guidelines.

All areas outside the building footprint have been maximised with garden areas to ensure a lush green outlook and connection with the adjacent Reserve and streetscape is maintained. Breaks between building forms allow for new vistas from the existing neighbourhood through to the dense trees of the Reserve. These lush ‘valley’ landscapes provide areas for respite and relaxation for residents within communal open spaces that overlook and connect directly to the Reserve.

A variety of robust, low maintenance indigenous and non-invasive exotics are proposed that provide interest through form, texture and variation in seasonal colour, complementing the character of the adjacent natural areas. The existing dense planting of native canopy trees along the boundary with Powells Creek Reserve is enhanced with extensive native tree and palm plantings throughout new gardens of the apartments. A new avenue of large native canopy trees along the streetscapes of Rothwell and Conway Avenue ‘green’ the existing streets and extend the character of the Reserve into the neighbourhood. The native species have been selected in consultation with the City of Canada Bay’s design team to ensure new tree plantings reflect the broader ‘greening’ of Concord West.

The materials palette has been kept deliberately simple and bold to reinforce the clarity of the landscape and built forms within a lush garden setting. Brickwork and stone are utilised within paving finishes, walling and terraced planters while also extending up the building facade. This blurs the separation between building edge and garden areas, grounding the development within a ‘park’ setting.

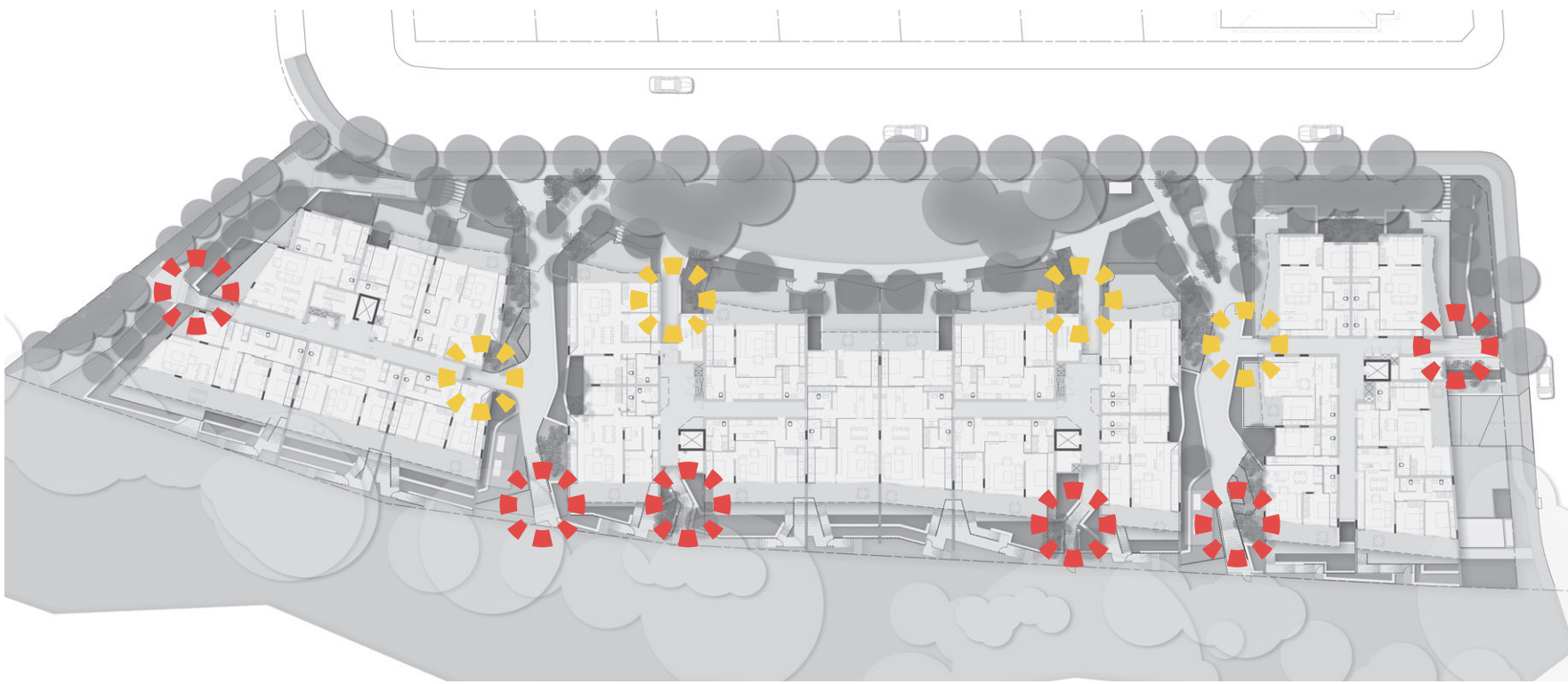
The close collaboration between landscape architect, architect and client has resulted in a design that will positively contribute to the Concord West Precinct through a considered design response that engages with the neighbourhood and enhances the natural assets of the area.

Location Plan

Legend:

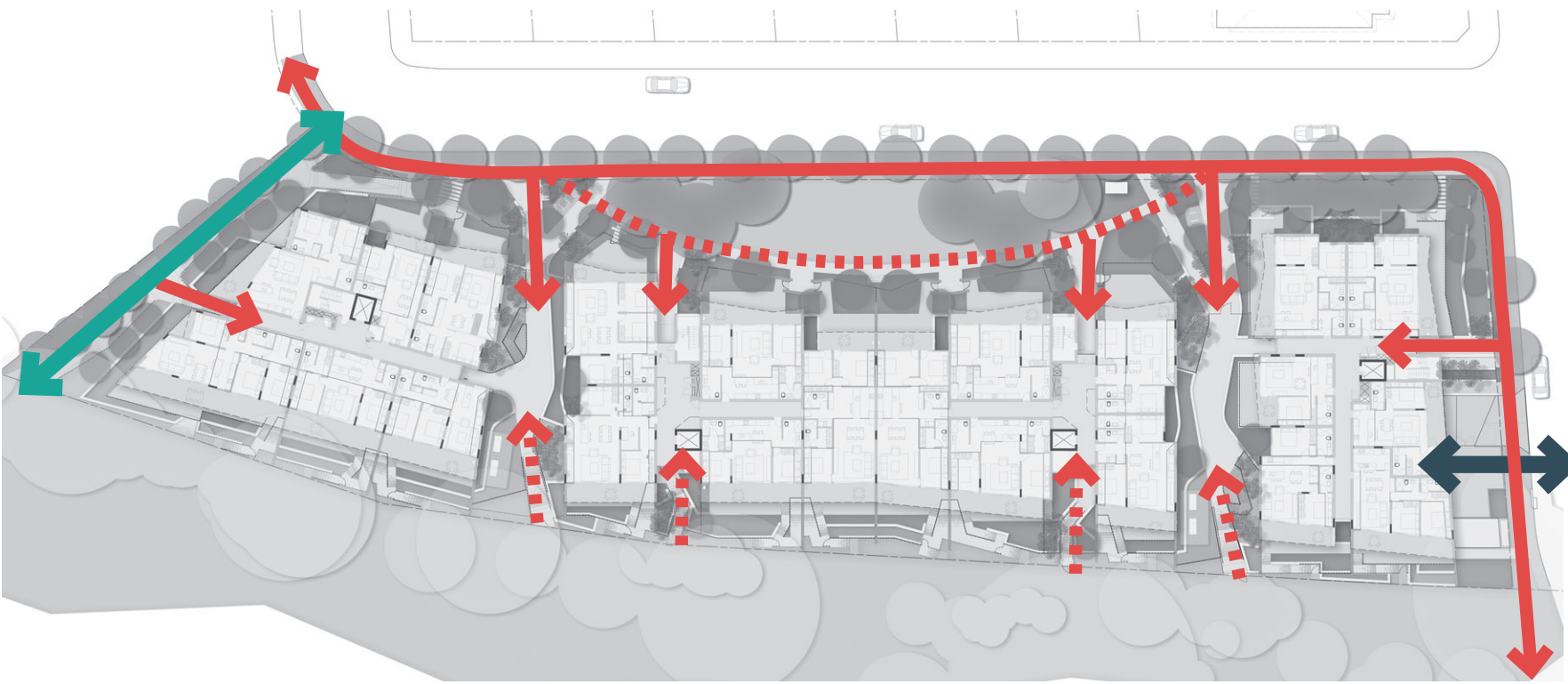
- Project site.
- Proposed future densification.
- Existing pedestrian/cyclist connection.
- New pedestrian connection.
- New avenue and streetscape to existing George Street, including enhanced pedestrian connection.
- New vehicle connection and avenue streetscape, including pedestrian connection.

Source: Concord West Master Plan, 2017, JBA.



Entry / Arrival

- Compliant access point.
- Compliant stair access point.



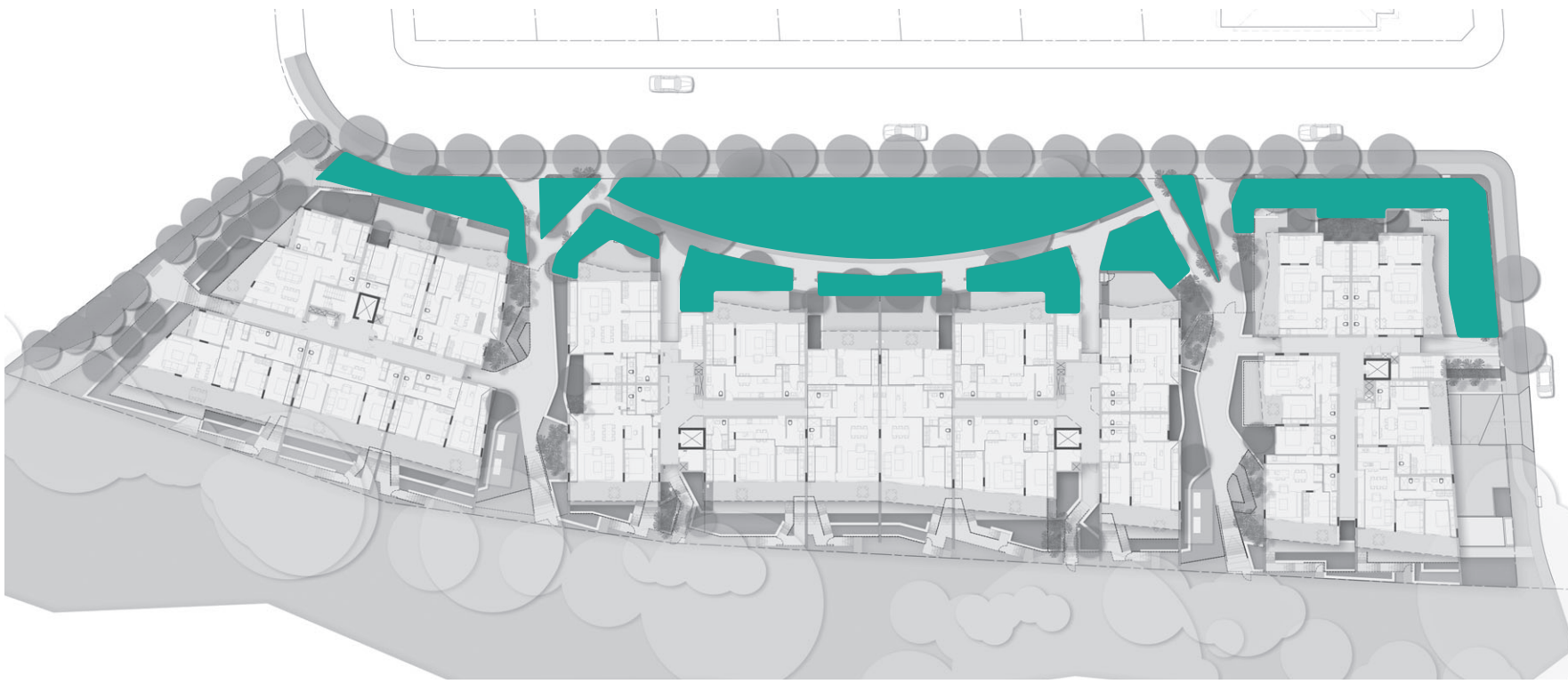
Circulation

- Primary circulation.
- Secondary circulation.
- Public pedestrian access.
- Vehicle access.



Uses

- Entry/arrival public area.
- Open grassed public area.
- Pedestrian public pathway.
- Private terrace area.
- Communal area.



Deep Soil Planting

Deep soil planting 1,001m².



Garden & Grassed Areas

- New grassed areas.
- New garden areas.



Trees

- New trees.
- Existing trees.



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Architects:

TERROIR MATTHEW PULLINGER ARCHITECT

Issue: A
Date: 07/05/19
Reason: For DA Submission
Reviewed by: DW
Date: 20/09/19

Reviewed by: DW
Date: 20/09/19

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West
Client: eloura holdings

Title: Landscape Design Statement
Location Plan
Design Intent Diagrams

Project No.: 1822
Date: 20.09.19
Scale: Not to scale @ A1



Drawing: 1822-02
Issue: B



FUTURE
DEVELOPMENT

Legend:

- Extent of new landscape works.
- Property boundary.
- Garden areas - cultivated subgrade, imported organic garden soil 200mm min depth, organic mulch 75-100mm depth, groundcovers, grasses, shrubs and screening vegetation (refer to planting palette).
- Grassed areas - cultivated subgrade, 'Kikuyu' turf installed on imported turf underlay.
- Existing trees within adjacent Reserve included within arborist report, labels refer to specific trees within close proximity to new works (refer to arborist report by Tree IQ).
- Pathways type 1 - unit pavers installed on mortar bedding and reinforced concrete base slab.
- Pathways type 2 - reinforced concrete pathways, full depth colour pigment, exposed aggregate washed finish.
- Landscape walls - feature brickwork walls on reinforced concrete footing, open metal style balustrade fixed to top of walls greater than 950mm in height.
- Terraced planting areas connect private courtyard spaces with adjacent reserve, max 950mm height.
- New metal open-style balustrades/fences to provide privacy to private courtyards whilst maintaining passive surveillance to the Reserve.
- New concrete footpath located within the Concord West DCP. Reinforced concrete pathways, broom finish, 1200mm width. Path to follow existing grade of road verge.
- New pedestrian connection through from Rothwell Avenue to the Powells Creek Reserve as outlined within the Concord West DCP. New pathway to be reinforced concrete pathways, 2000mm width. Pathway to include compliant stairs and ramp in addition to pedestrian lighting.
- Pedestrian connection activated with access from apartment buildings. Apartments along the pedestrian connection also provide passive surveillance of the space.
- Rest stops located along the length of the new pedestrian connection, bench seat to match Council requirements.
- New avenue of trees provide visual connection through to Powells Creek Reserve.
- Allowance for future connection to adjacent multi-unit residential.
- Drainage easement located along boundary of pedestrian connection (refer to civil engineer documentation). Any tree planting located clear of any underground services.
- Primary access to new apartment building.
- Gated access to private courtyards from Reserve/street frontage.
- New street trees within road verge along Rothwell Avenue to meet Council requirements (refer to Plant Palette).
- New flowering trees located at entry to apartments (refer to Plant Palette).



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Architects:

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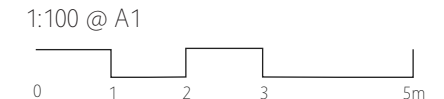
Issue: A
Date: 07/05/19
Reason: For DA Submission
For DA Submission

Reviewed by: DW
Date: 20/09/19

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West
Client: eloura holdings

Title: Landscape DA Plan
1 of 4

Project No.: 1822
Date: 20/09/19
Scale: 1:100 @ A1



Drawing: 1822-04
Issue: B

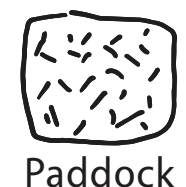
Legend:

- Extent of new landscape works.
- Property boundary.
- Garden areas - cultivated subgrade, imported organic garden soil 200mm min depth, organic mulch 75-100mm depth, groundcovers, grasses, shrubs and screening vegetation (refer to planting palette).
- Grassed areas - cultivated subgrade, 'Kikuyu' turf installed on imported turf underlay.
- Existing trees within adjacent Reserve included within arborist report, labels refer to specific trees within close proximity to new works (refer to arborist report by Tree IQ).
- Pathways type 1 - unit pavers installed on mortar bedding and reinforced concrete base slab.
- 1 Landscape walls - feature brickwork walls on reinforced concrete footing, open metal style balustrade fixed to top of walls greater than 950mm in height.
- 2 Terraced planting areas connect private courtyard spaces with adjacent reserve, max 950mm height.
- 3 New metal open-style balustrades/fences to provide privacy to courtyards whilst maintaining passive surveillance to the Reserve.
- 4 Entry area to new apartment building including shade trees, seating and large open pathway connection to entry gate. Entry area opens out onto new communal open grassed area.
- 5 Building letter boxes located within a brickwork wall, 1500mm height.
- 6 Bike racks located within entry area (parking for 6 No. bicycles).
- 7 Open grassed area with native shade tree planting. Grassed area surrounded by a pathway 'loop'.
- 8 New bench seats located within the entry areas and also surrounding the open grassed area.
- 9 Security gate access to apartments, metal open-style entry gate and fence, 1800mm height.
- 10 Primary access to new apartment building.
- 11 Courtyards adjacent to the open grassed area to be a mixture of feature brickwork reinforced concrete walls (heights as noted) with metal open style fencing 1200mm height within planting areas to maintain views to street.
- 12 Gated access to private courtyards from Reserve/street frontage.
- 13 Podium planter walls - reinforced concrete with stone cladding, heights as noted. All podium planters to be waterproofed and irrigated with drainage connected to site storm water.
- 14 Open void to basement below to allow for natural light and ventilation for the basement. Void also allows for deep soil planting with lush, shade tolerant species to grow up through the space (refer to Plant Palette).
- 15 Compliant stair access from entry podium to basement. Stair access is also fire egress route from basement.
- 16 Compliant stair access from apartments to Reserve with gated access at Reserve interface.
- 17 Communal open space for residents of the apartments overlooking the Reserve. Space to include a weatherproof shelter, table settings and barbecue.
- 18 New works offset from boundary to ensure do not encroach the SRZ or adversely impact the TPZ of significant existing trees within the adjacent reserve, as directed by the project arborist (refer to arborist report).
- 19 New concrete footpath located within road verge as outlined within the Concord West DCP. Reinforced concrete pathways, broom finish, 1200mm width. Path to follow existing grade of road verge.
- 20 New street trees within road verge along Rothwell Avenue to meet Council requirements (refer to Plant Palette).
- 21 New flowering trees located at entry to apartments (refer to Plant Palette).



Legend:

- Extent of new landscape works.
- Property boundary.
- Garden areas - cultivated subgrade, imported organic garden soil 200mm min depth, organic mulch 75-100mm depth, groundcovers, grasses, shrubs and screening vegetation (refer to planting palette).
- Grassed areas - cultivated subgrade, 'Kikuyu' turf installed on imported turf underlay.
- Existing trees within adjacent Reserve included within arborist report, labels refer to specific trees within close proximity to new works (refer to arborist report by Tree IQ).
- Pathways type 1 - unit pavers installed on mortar bedding and reinforced concrete base slab.
- Landscape walls - feature brickwork walls on reinforced concrete footing, open metal style balustrade fixed to top of walls greater than 950mm in height.
- Terraced planting areas connect private courtyard spaces with adjacent reserve, max 950mm height.
- New metal open-style balustrades/fences to provide privacy to courtyards whilst maintaining passive surveillance to the Reserve.
- Entry area to new apartment building including shade trees, seating and large open pathway connection to entry gate. Entry area opens out onto new communal open grassed area.
- Building letter boxes located within a brickwork wall, 1500mm height.
- Bike racks located within entry area (parking for 4 No. bicycles).
- Open grassed area with native shade tree planting. Grassed area surrounded by a pathway 'loop'.
- New bench seats located within the entry areas and also surrounding the open grassed area.
- Security gate access to apartments, metal open-style entry gate and fence, 1800mm height.
- Primary access to new apartment building.
- Courtyards adjacent to the open grassed area to be a mixture of feature brickwork walls (heights as noted) with metal open style fencing 1200mm height within planting areas to maintain views to street.
- Gated access to private courtyards from Reserve/street frontage.
- Podium planter walls - reinforced concrete with stone cladding, heights as noted. All podium planters to be waterproofed and irrigated with drainage connected to site storm water.
- Open void to basement below to allow for natural light and ventilation for the basement. Void also allows for deep soil planting with lush, shade tolerant species to grow up through the space (refer to Plant Palette).
- Compliant stair access from entry podium to basement. Stair access is also fire egress route from basement.
- Compliant stair access from apartments to Reserve with gated access at Reserve interface.
- Communal open space for residents of the apartments overlooking the Reserve. Space to include a weatherproof shelter, table settings and barbecue.
- New driveway access and vehicle crossover to Council requirements.
- New concrete footpath located within road verge as outlined within the Concord West DCP. Reinforced concrete pathways, broom finish, 1200mm width. Path to follow existing grade of road verge.
- New street trees within road verge along Rothwell Avenue to meet Council requirements (refer to Plant Palette).
- New flowering trees located at entry to apartments (refer to Plant Palette).



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Architects:

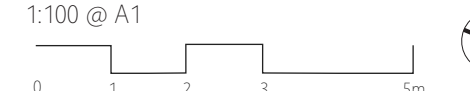
TERROIR MATTHEW PULLINGER ARCHITECT

Issue: A
Date: 07/05/19
Reason: For DA Submission
Reviewed by: DW
Date: 20/09/19
Reason: For DA Submission

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West
Client: **eloura holdings**

Title: Landscape DA Plan
3 of 4

Project No: 1822
Date: 20/09/19
Scale: 1:100 @ A1



Drawing: 1822-06
Issue: B



Legend:

- Garden areas - deep soil planting areas with cultivated subgrade, imported organic garden soil 800mm min depth, organic mulch 75-100mm depth, groundcovers, grasses, shrubs and screening vegetation (refer to planting palette).
- 1 Open void to sky to allow for natural light and ventilation for the basement. Void also allows for deep soil planting with lush, shade tolerant species to grow up through the space (refer to Plant Palette).
- 2 Pathways type 1 - unit pavers installed on mortar bedding and reinforced concrete base slab.
- 3 Landscape walls - feature brickwork walls on reinforced concrete footing.
- 4 Groundfloor walls extend down to basement to allow for vine plantings.
- 5 Bike racks located within basement (parking for 88 No. bicycles).
- 6 Compliant stair access from basement to groundfloor podium. Stair access is also fire egress route from basement.
- 7 Lift access to new apartment buildings.
- 8 New driveway access and vehicle crossover to Council requirements.
- 9 Rainwater storage tanks.
- 10 Waste storage rooms.
- 11 Waste collection area - raised deck structure above TPZ of tree.
- 12 Private access to groundfloor terraces and apartments.



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Architects:

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Issue: A
Date: 07.05.19
Reason: For DA Submission

Reviewed by: DW
Date: 20.09.19
Reason: For DA Submission

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West
Client: **eloura holdings**

Title: Landscape DA Plan
4 of 4 (Basement)

Project No.: 1822
Date: 20.09.19
Scale: 1:200 @ A1



Drawing: 1822-07
Issue: B



Elevation A - Rothwell Avenue

Scale: 1:200 @A1

Note: Elevation does not include new street trees along Rothwell Avenue.



Elevation B (Part 1) - Powells Creek Reserve

Scale: 1:200 @A1

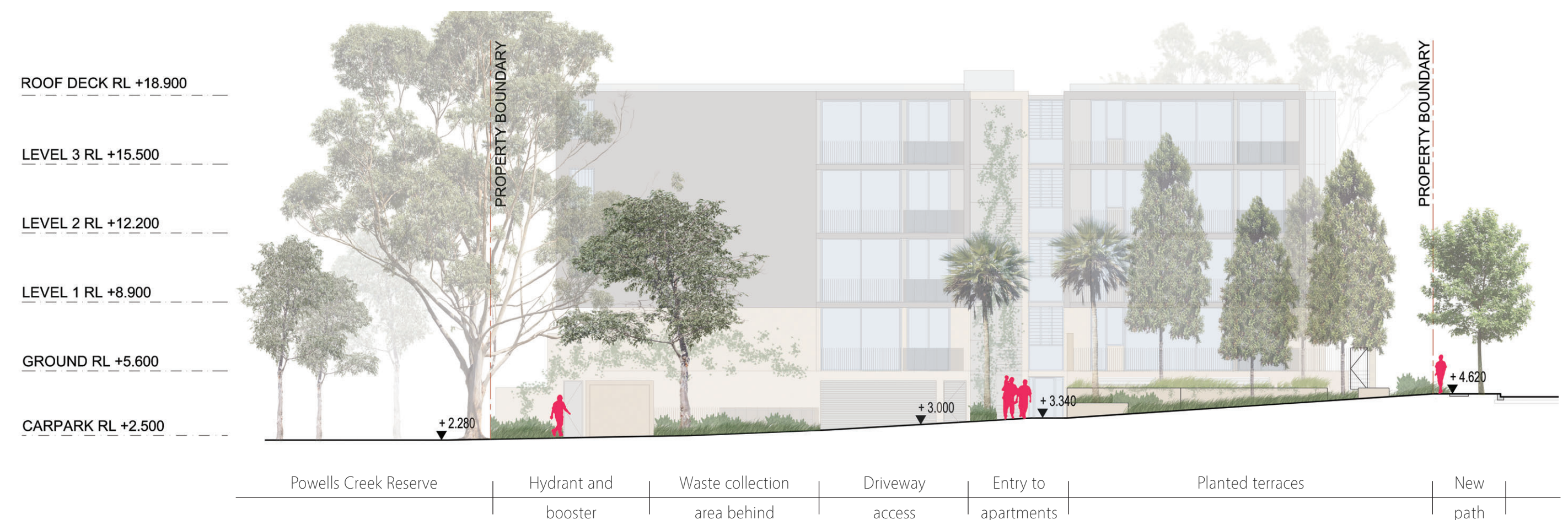
Note: Elevation does not include existing significant tree canopy along the boundary of Powells Creek Reserve.



Elevation B (Part 2) - Powells Creek Reserve

Scale: 1:200 @A1

Note: Elevation does not include existing significant tree canopy along the boundary of Powells Creek Reserve.



Elevation C - Conway Avenue

Scale: 1:200 @A1



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Architects:
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For DA Submission

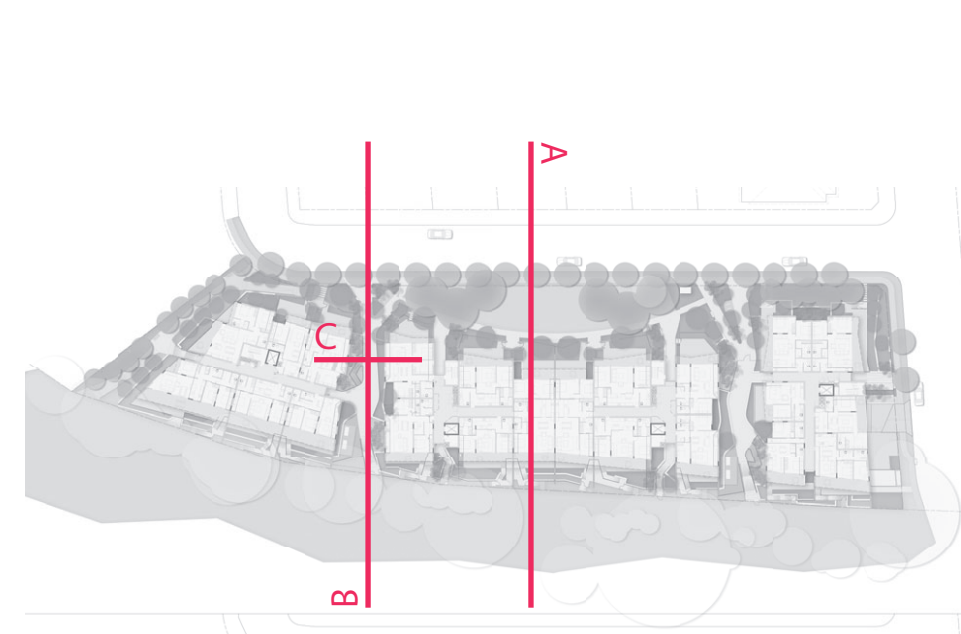
Reviewed by:
DW
DW

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West
Client: **eloura holdings**

Title: Elevation A
Elevation B
Elevation C

Project No: 1822
Date: 20.09.19
Scale: 1:200 @ A1
0 2 4 6 10m

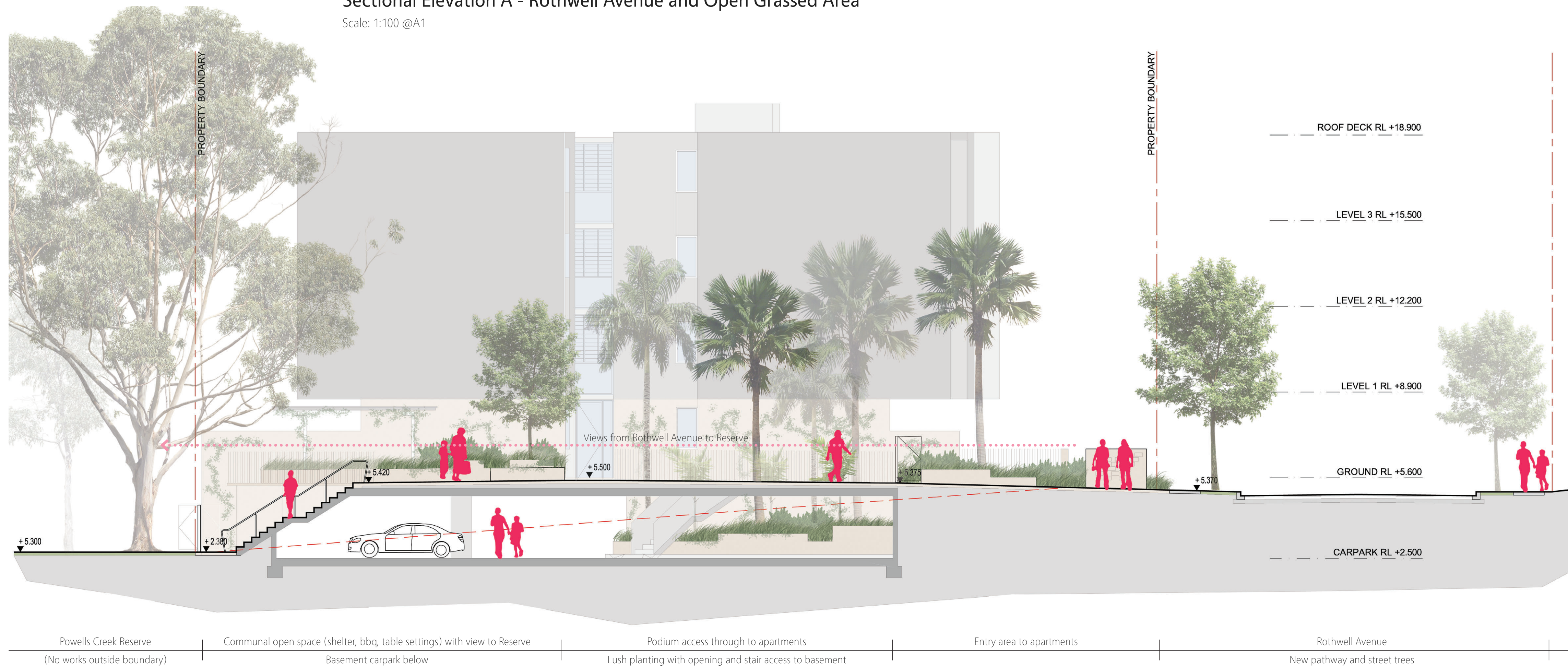
Drawing: 1822-08
Issue: B



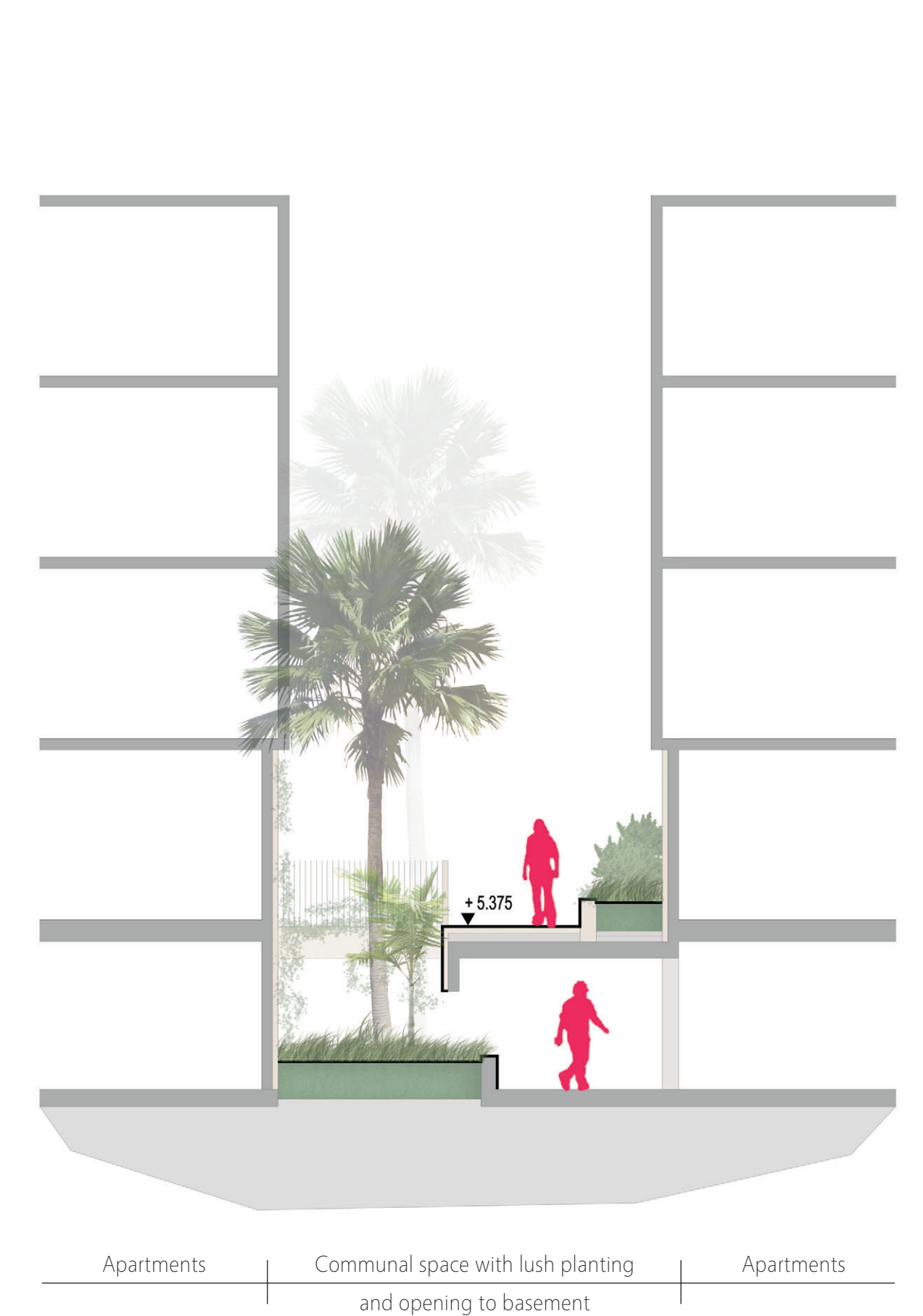
Key Plan
Scale: nts



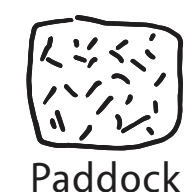
Sectional Elevation A - Rothwell Avenue and Open Grassed Area
Scale: 1:100 @A1



Sectional Elevation B - Rothwell Avenue and the Communal Space
Scale: 1:100 @A1



Sectional Elevation C - Openings within Communal Space
Scale: 1:100 @A1



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Reason: For DA Submission

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West
Client: eloura holdings

Title: Sectional Elevation A
Sectional Elevation B
Sectional Elevation C

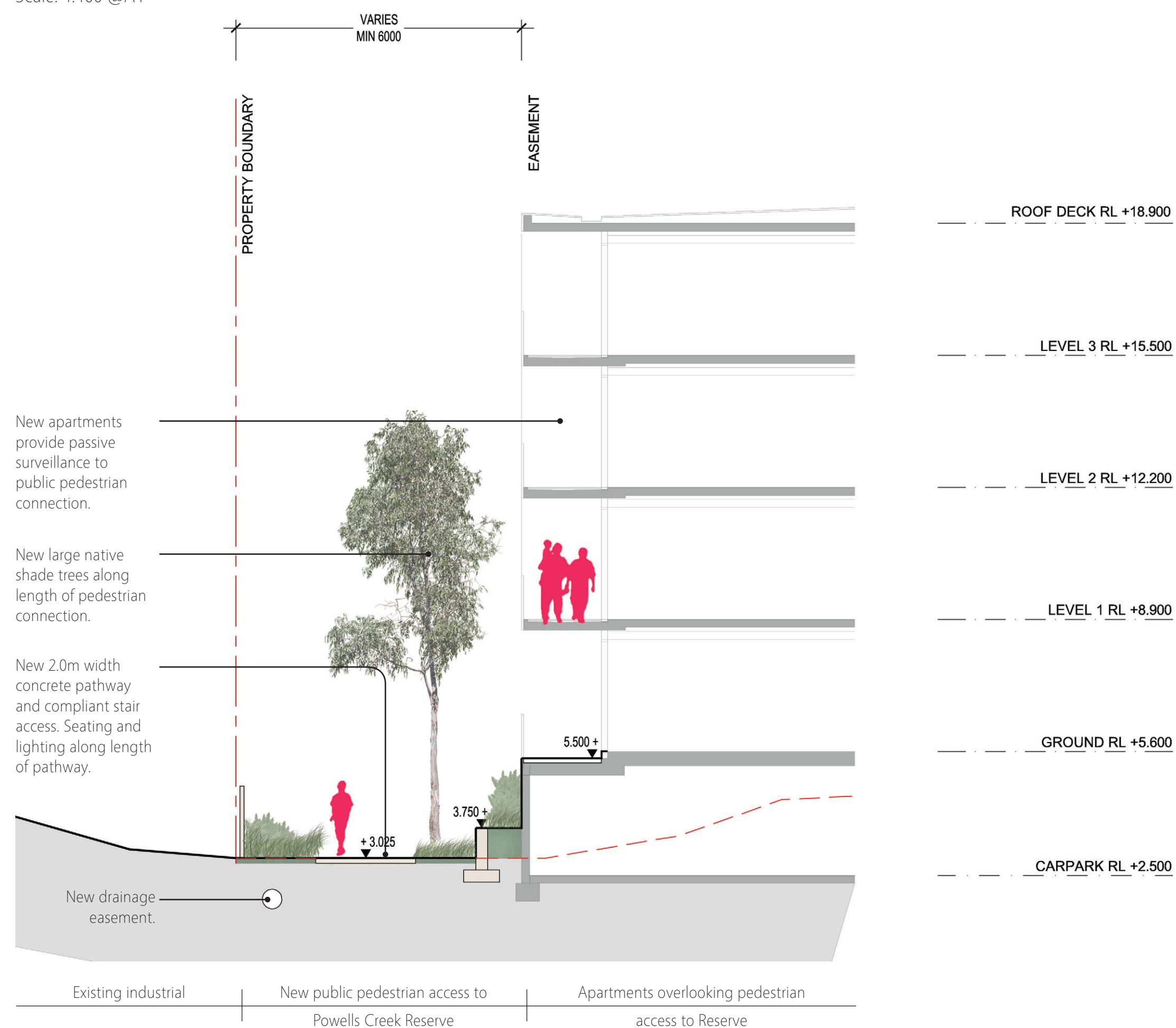
Project No.: 1822
Date: 20.09.19
Scale: 1:100 @ A1

Drawing: 1822-09
Issue: B

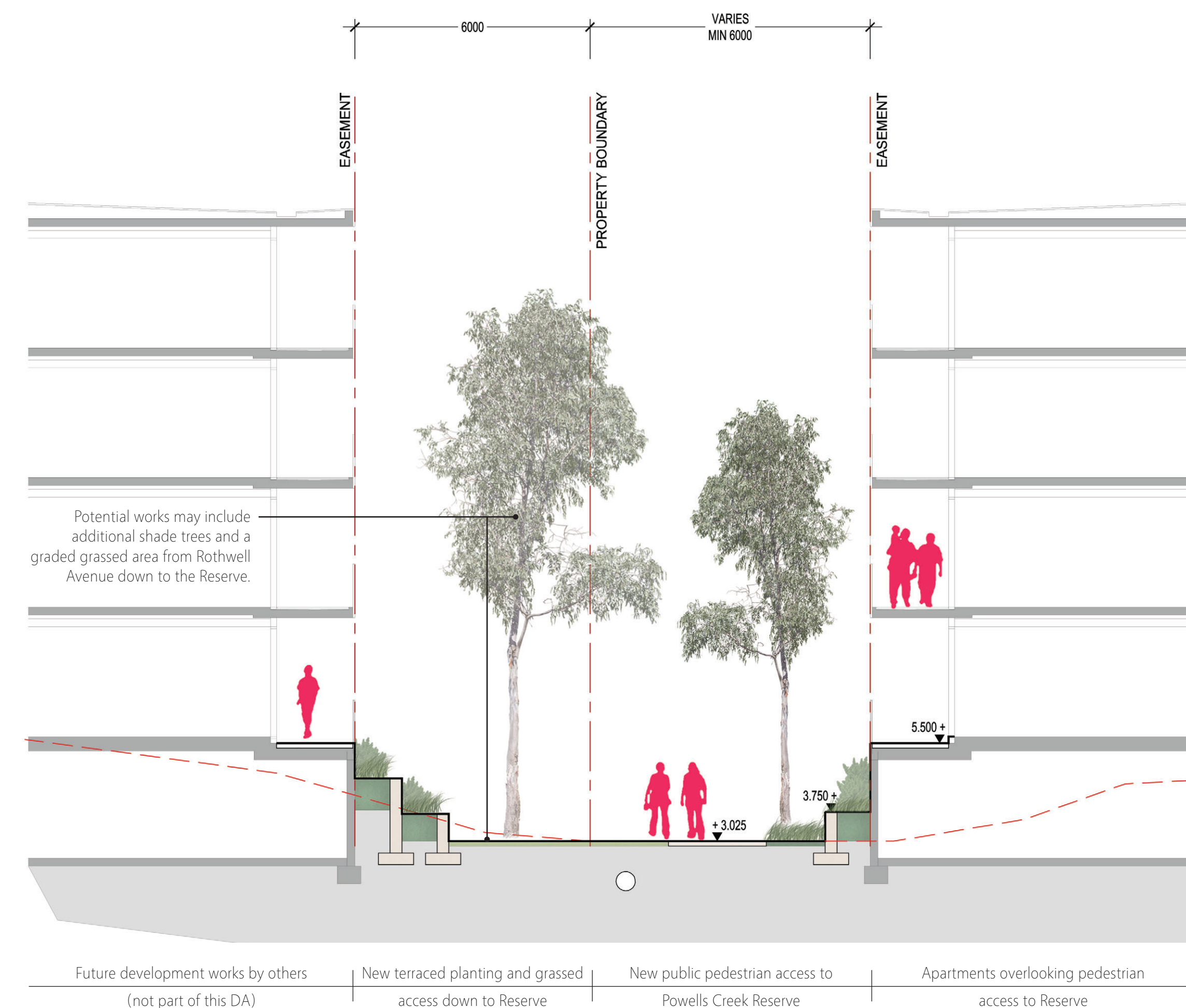
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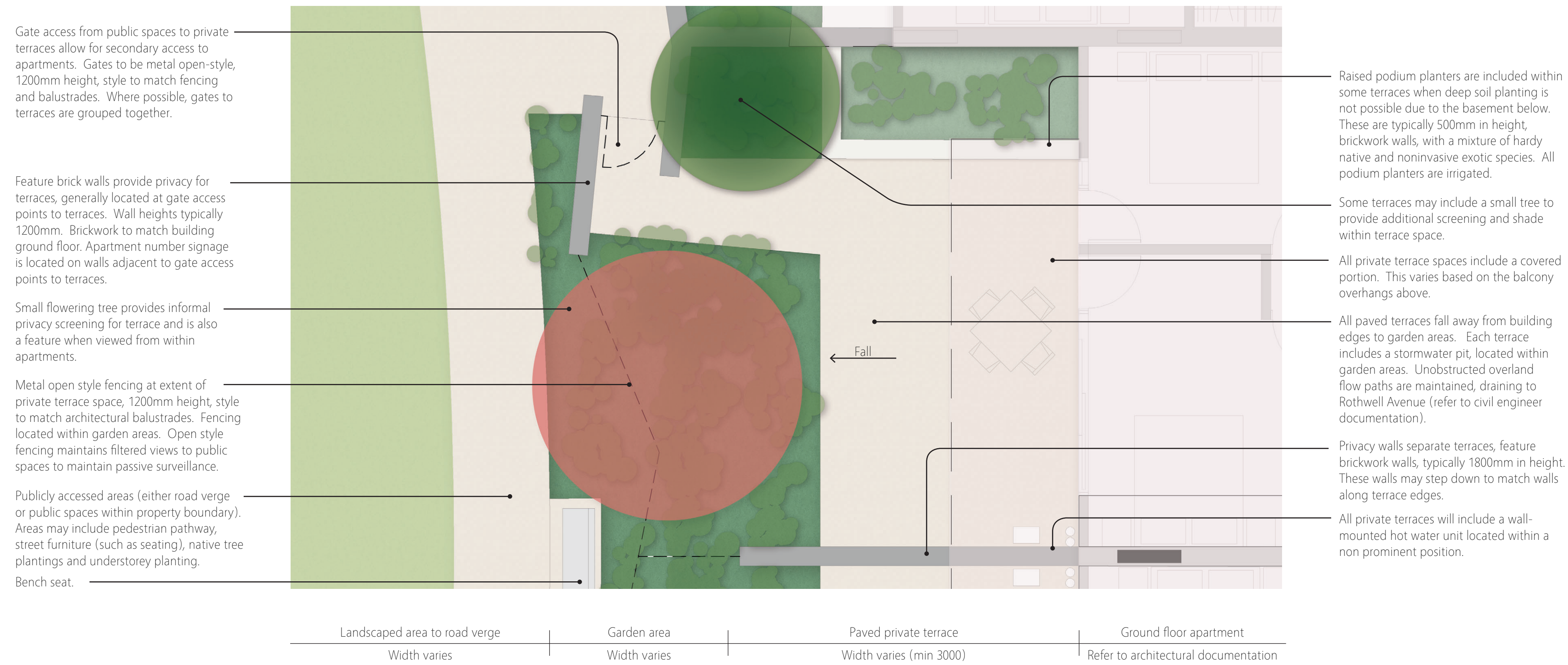
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Scale: 1:100 @A1

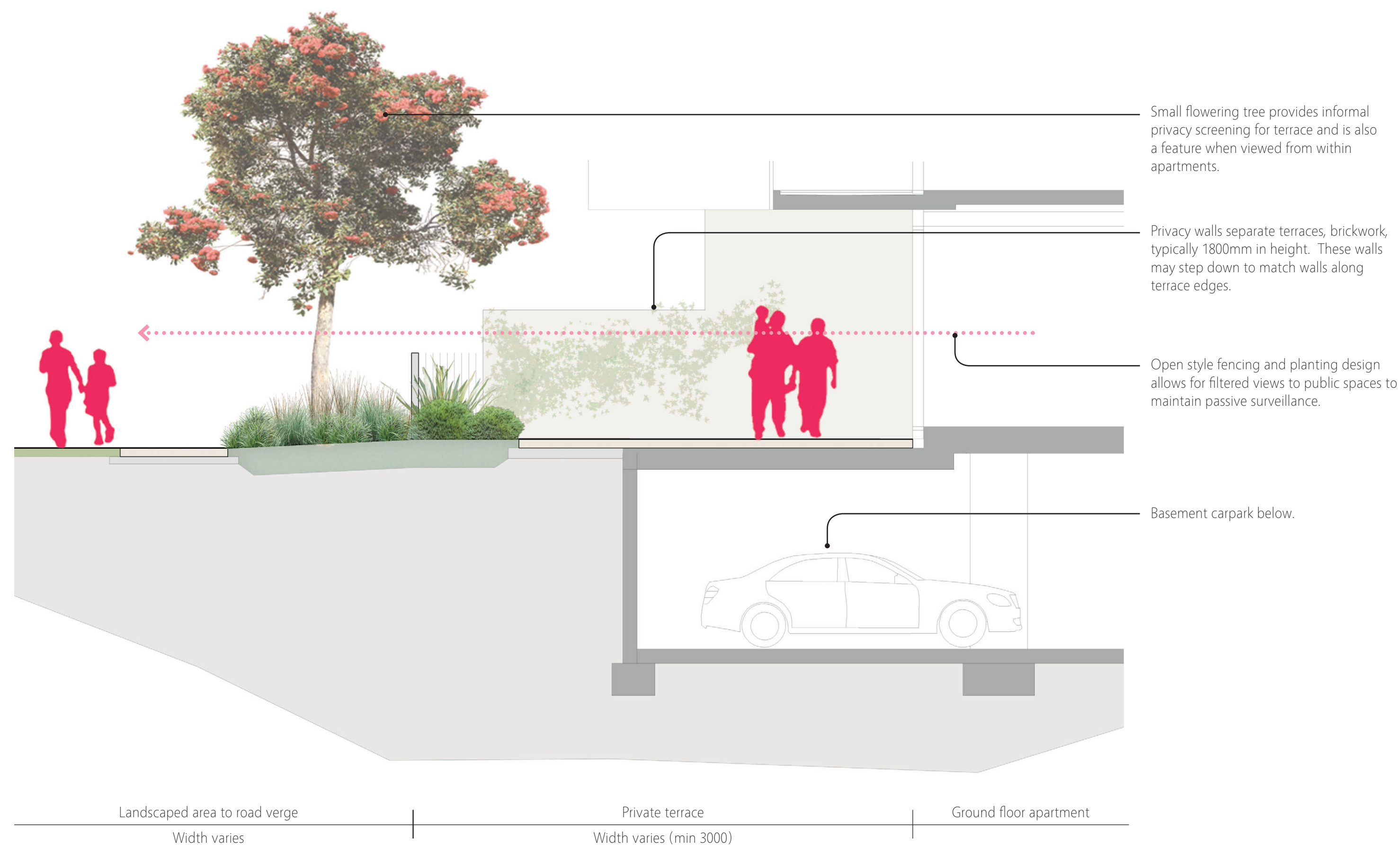


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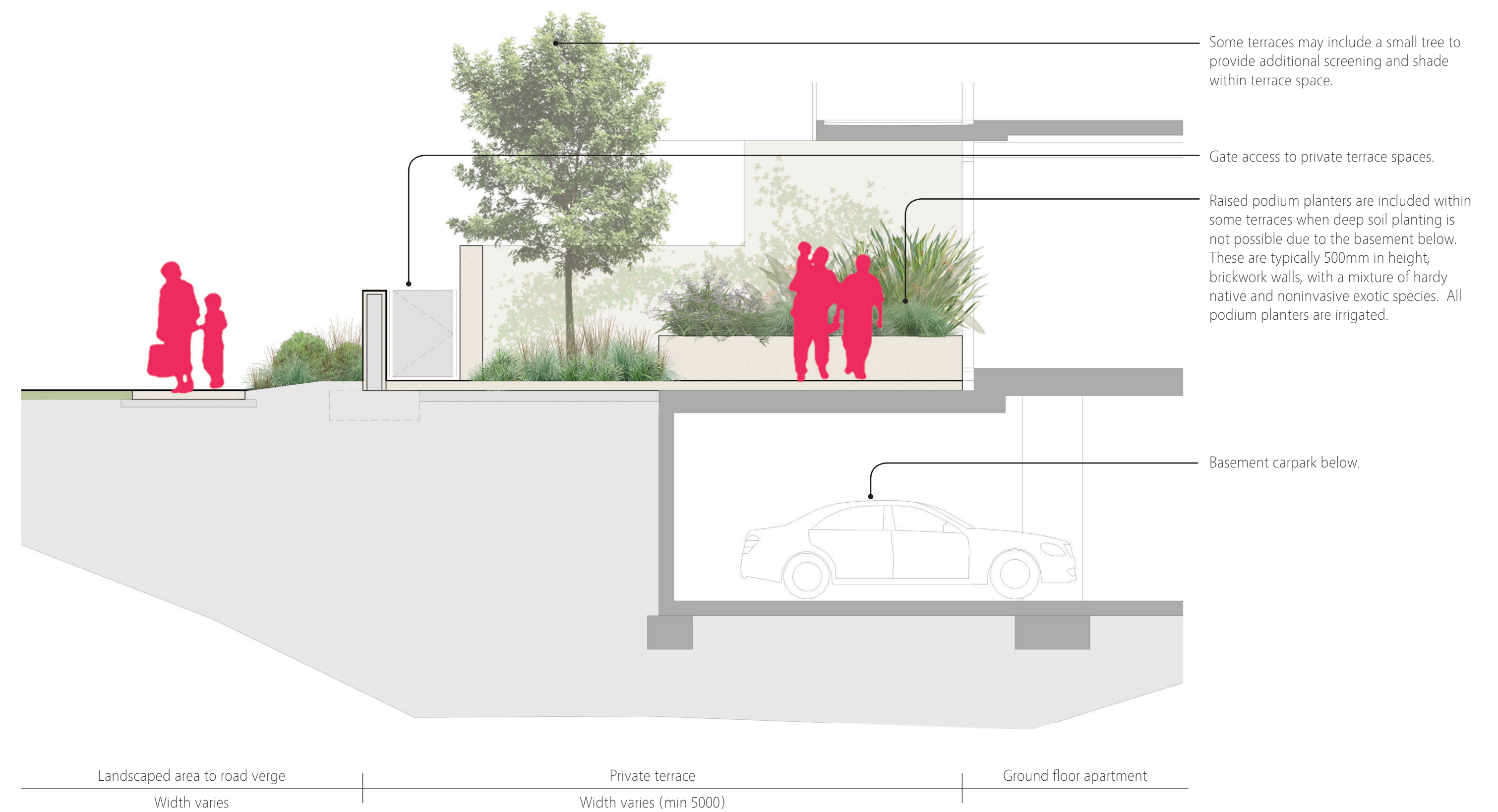
Groundfloor Private Terrace Typical Plan - Street / Grassed Area Interface

Scale: 1:50 @A1



Groundfloor Private Terrace Typical Section Type A - Open Style Fencing

Scale: 1:50 @A1



Groundfloor Private Terrace Typical Section Type B - Privacy Screening Wall & Gate Access

Scale: 1:50 @A1



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Architects:

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Date: 20/09/19
Reason: For DA Submission

Project:

Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West

Client:

eloura holdings

Title:

Groundfloor Private Terrace
Street / Grassed Area Interface
Typical Plan & Sections

Project No:

1822
Date: 20/09/19
Scale: 1:50 @ A1

Scale:

0 0.5 1 1.5 2.5m

Drawing:

1822-011

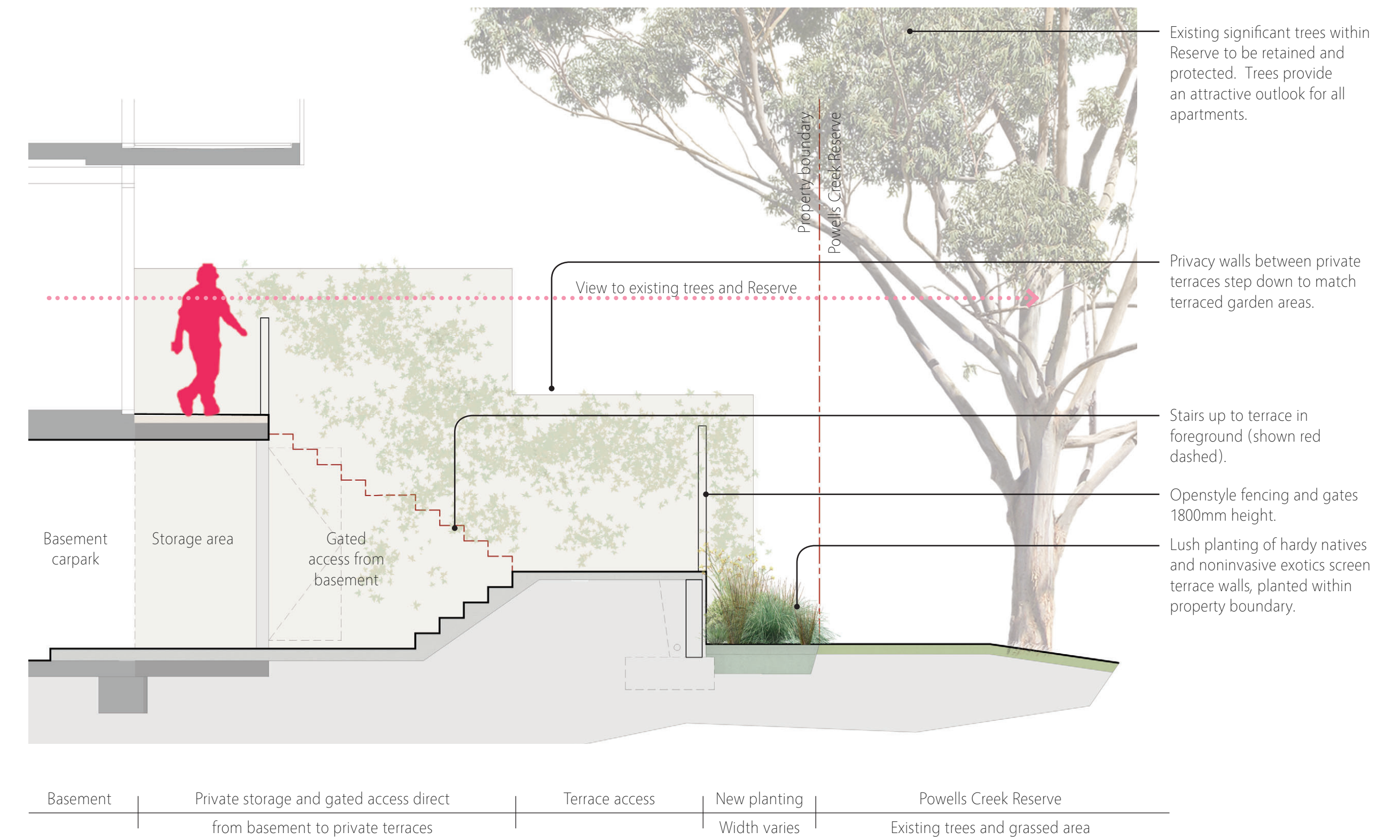
Issue:

B



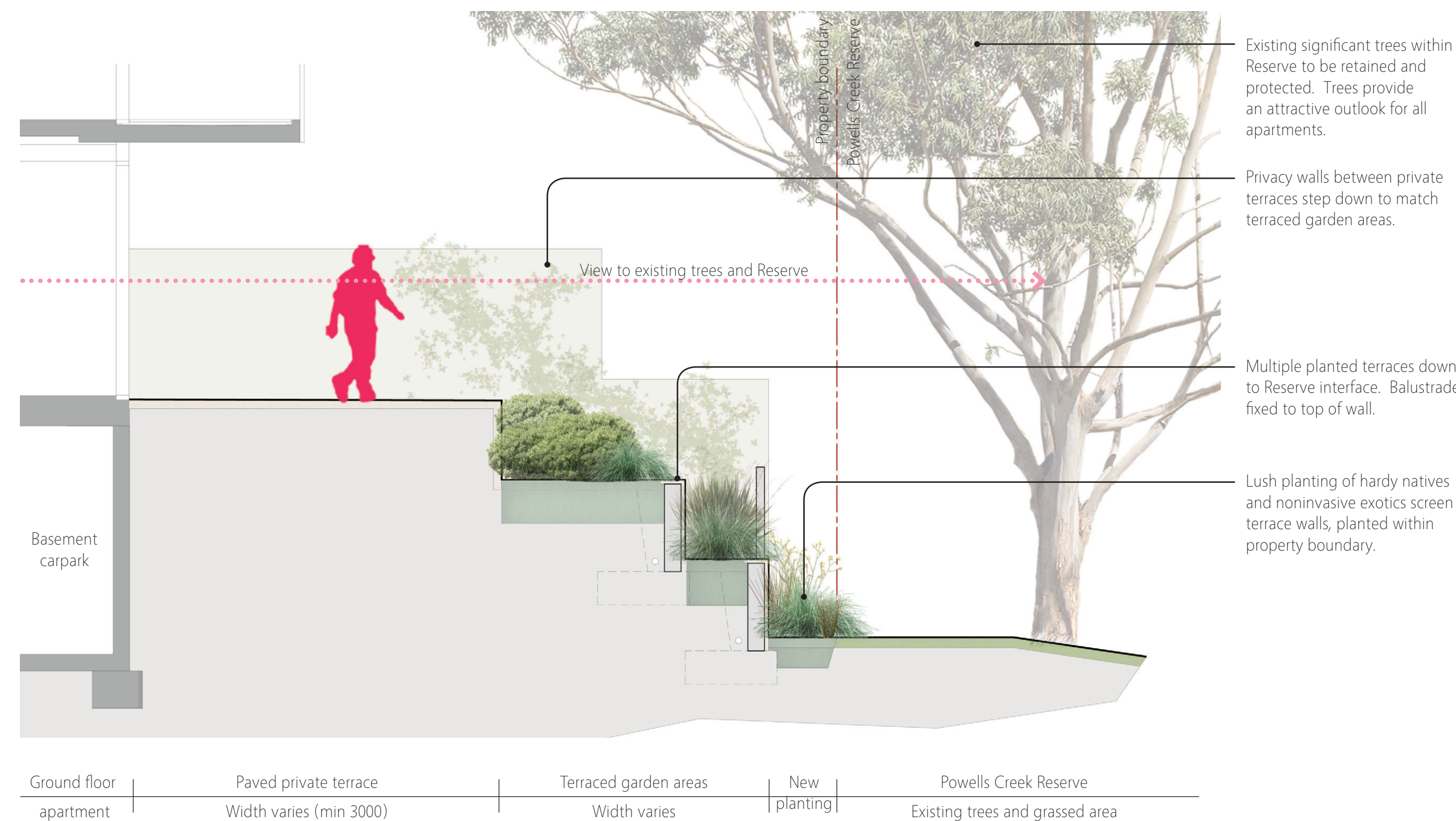
Groundfloor Private Terrace Typical Plan - Powells Creek Reserve Interface

Scale: 1:50 @A1



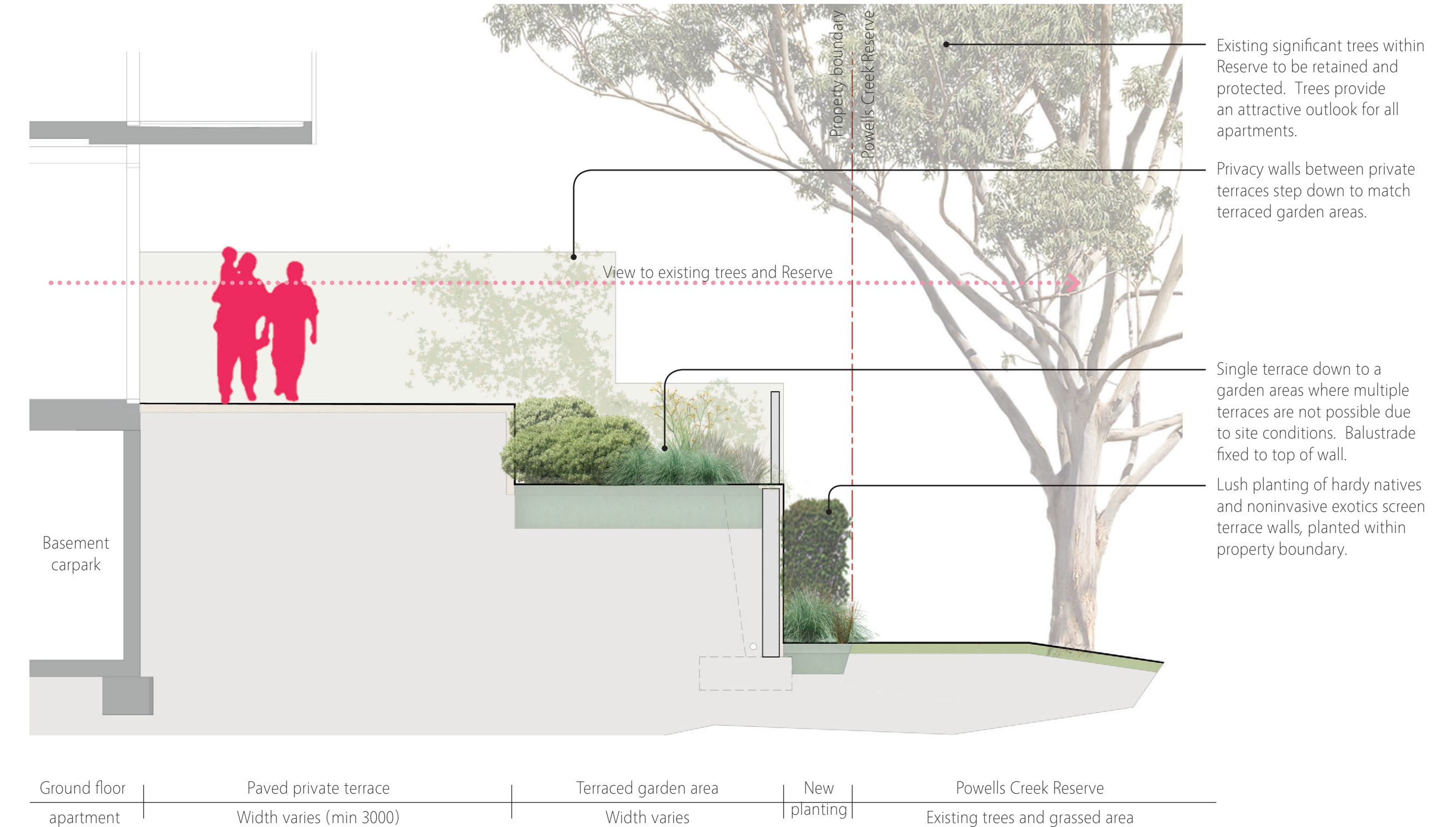
Groundfloor Private Terrace Typical Section Type A - Terraced Gate Access

Scale: 1:50 @A1



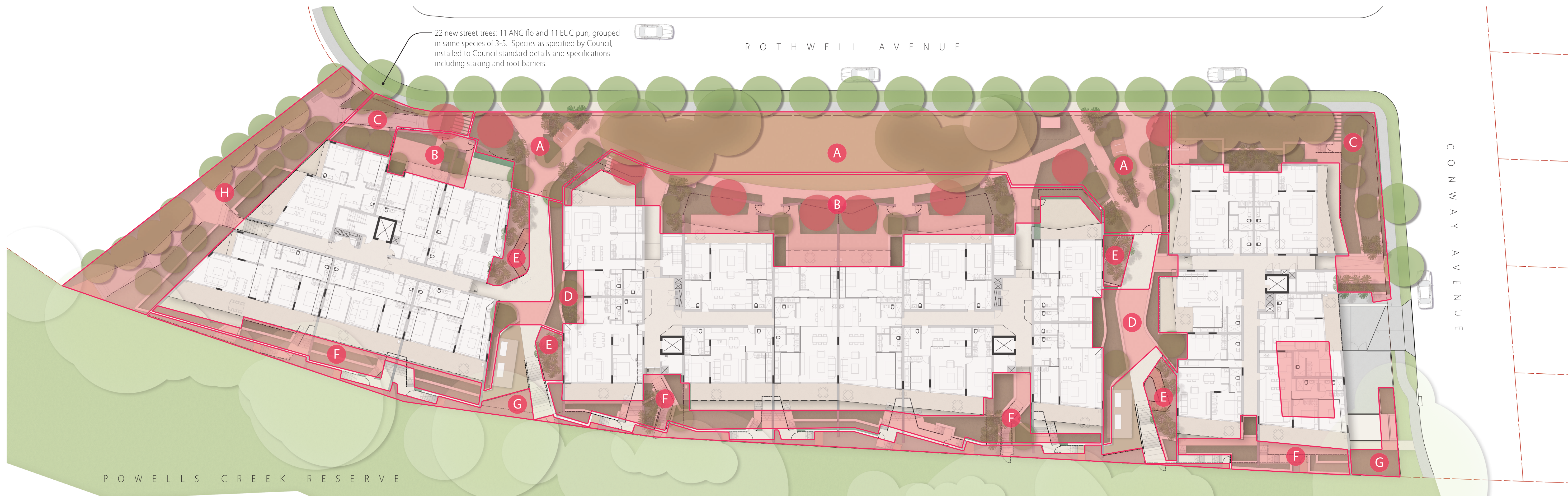
Groundfloor Private Terrace Typical Section Type B - Terraced Gardens

Scale: 1:50 @A1



Groundfloor Private Terrace Typical Section Type C - Terraced Garden

Scale: 1:50 @A1



Area A

Entry / arrival area to new apartments within a publicly accessed area. Lush, attractive planting, low maintenance.

Garden area:	177 m ²
Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	20
HIB sca	20
SEN man	16
VIO hed	40
ZEP can	40
Grasses, Ferns + Broad-leaved:	
ALC imp SP	9
CLI min	16
CRI ped	16
DIA cae LJ	50
DOR exc	15
HEL psi	30
LIR mus EG	30
LOM lon T	40
MOL cap	30
Shrubs + Screening:	
RHA ind SM	25
WES fru GB	30
Trees:	
ANG cos	2
ARC cun	3
ELA ret	7
EUC mac	2
EUC sid	2
HOW for	3
LIV aus	5
LAG ind	3

Area B

Garden areas within private open spaces (or adjacent to) for terraces adjoining the open grassed area.

Garden area:	227 m ²
Plant Code:	Quantity:
Groundcovers:	
CHR api	50
GRE lan MT	80
SEN man	40
VIO hed	120
ZEP can	80
Vines:	
CIS ant	12
THU myo	12
Grasses, Ferns + Broad-leaved:	
ALC imp SP	12
ALP zer	16
ANI BG	30
CLI min	30
CRI ped	30
CTE set	30
DIA cae LJ	60
DOR exc	12
HEL psi	30
LIR mus EG	60
LOM lon T	50
MOL cap	30
POA lab E	40
Shrubs + Screening:	
MEL lin CT	30
RHA ind SM	20
THY max	6
VIB odo EL	12
WES fru GB	40
Trees:	
ELA ret	2
HOW for	4
RAN fit	2
LAG ind	5

Area C

Garden areas along the street frontage of the apartments.

Area:	272 m ²
Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	100
DIC arg SF	120
HIB sca	100
GRE lan MT	90
SEN man	30
VIO hed	120
Vines:	
CIS ant	6
THU myo	6
Grasses, Ferns + Broad-leaved:	
ALC imp SP	5
ANI BG	40
CLI min	30
CRI ped	20
DIA cae LJ	80
DOR exc	20
FIC nod	40
LIR mus EG	50
LOM lon T	60
MOL cap	30
POA lab E	40
Shrubs + Screening:	
COR alb	9
MEL lin CT	30
RHA ind SM	30
SYZ aus R	8
WES fru	9
WES fru GB	30
Trees:	
ANG cos	3
ANG flo	2
ARC cun	3
BAC myr	2
ELA ret	3
LIV aus	3
TRI lau	4

Area D

Garden areas on podium within communal open spaces. Lush, attractive planting akin to a palm valley.

Area:	102 m ²
Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	20
DIC arg SF	40
HIB sca	20
SEN man	16
VIO hed	40
ZEP can	40
Vines:	
CIS ant	12
THU myo	6
Grasses, Ferns + Broad-leaved:	
ADI aet	20
ALC imp SP	12
ALP zer	20
ART cir	20
ASP aus	12
ASP ela	30
CLI min	30
CRI ped	20
CTE set	20
DIA cae LJ	40
DIA rev LR	30
DOR exc	12
HEL psi	30
LIR mus EG	40
MOL cap	20
Shrubs + Screening:	
RHA ind SM	20
THY max	16
VIB odo EL	16
WES fru GB	20
Trees:	
ELA ret	2
RAN fit	2

Area E

Sunken garden areas at basement level (deep soil planting). Lush, shade tolerant species akin to a shaded palm valley.

Area:	97 m ²
Plant Code:	Quantity:
Groundcovers:	
DIC rep	80
VIO hed	60
Vines:	
CIS ant	12
THU myo	8
Grasses, Ferns + Broad-leaved:	
ADI aet	50
ALO bri	8
ART cir	30
ASP aus	16
ASP ela	50
DIC ant	4
DIA cae	60
DOO asp	50
DOR exc	12
FIC nod	40
LOM lon	60
MOL cap	40
PLA sp.	8
Palms:	
ARC cun	4
HOW for	4
LIV aus	5

Area F

Garden areas within private terraces adjacent to the Reserve. Lush planting within a semi-shaded area due to significant existing trees.

Area:	216 m ²
Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	90
DIC arg SF	90
HIB sca	40
SEN man	40
VIO hed	90
ZEP can	60
Grasses, Ferns + Broad-leaved:	
ADI aet	40
ALC imp SP	30
ALO bri	30
ALP zer	40
ART cir	40
ASP aus	30
CLI min	40
CRI ped	40
CTE set	40
DIA cae LJ	80
DOR exc	30
HEL psi RC	40
LIR mus EG	80
LOM lon T	80
MOL cap	40
Shrubs + Screening:	
RHA ind SM	60
THY max	30
VIB odo EL	30
WES fru GB	60
Trees:	
ARC cun	2
ELA ret	2
HOW for	2

Area G

Garden areas along boundary with Reserve. Creek/riparian character to enhance existing vegetation within Reserve.

Area:	244m ² (126m ² in bdy)
Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	100
DIC rep	300
GRE lan MT	100
VIO hed	300
Grasses, Ferns + Broad-leaved:	
ANI BG	50
ASP aus	20
CAR app	30
CRI ped	40
DIC ant	20
DIA cae	60
DOO asp	60
DOR exc	40
FIC nod	50
IMP cyl	50
LOM lon	50
POA lab E	50
THE aus	50
Shrubs + Screening:	
COR alb	30
GRE S	20
HAR vio	50
MEL lin CT	50
SYZ aus R	30
WES fru	40
WES fru GB	40

Area H

Garden areas within the publicly accessible pedestrian connection to the Reserve. Robust, low maintenance species.

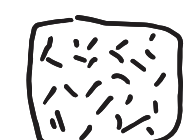
Area:	189 m ²
Plant Code:	Quantity:
Groundcovers:	
CAS gla CI	50
DIC rep	95
GRE lan MT	40
HIB sca	40
VIO hed	95
Grasses, Ferns + Broad-leaved:	
ANI BG	40
CAR app	30
DIA cae	50
DOR exc	16
FIC nod	40
IMP cyl	30
LOM lon	50
POA lab E	40
Shrubs + Screening:	
CAL BJ	30
MEL lin CT	40
SYZ aus R	16
WES fru	22
WES fru GB	30
Trees:	
ANG cos	8
TRI lau	7

Street Tree General Notes:

- + Street tree species instructed by Council.
- + Street trees setout as per Council requirements: 10m from any road intersection, 2m from driveway wings, 6m spacings.
- + Street trees installed as per Council requirements and details, including staking and root barriers.

Planting General Notes:

- + Planting design subject to detailed design. Not for pricing or construction.
- + Refer to drawing 1822-14 and 1822-15 for the master plant schedule and plant images.
- + Species within mixed planting areas to be planted in groupings of 3-5.
- + All garden areas subgrade to be cultivated prior to installation of new imported organic garden soil.
- + All garden areas to include 200mm depth of imported organic garden soil. All podium planters to be 800mm minimum depth.
- + All garden areas to be mulched with 75mm depth of imported organic garden mulch.
- + Sub-surface drainage to all garden areas, connected to site stormwater.
- + All garden areas (excluding softscape works within the public pedestrian pathway and the road verge and within the Reserve) are to include a fully automated irrigation system connected to the sites rainwater harvesting system (subject to detailed design by a suitably qualified irrigation consultant).
- + All services are to be located prior to the installation of all trees, palms and planting works - 'dial before you dig'.



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Not for pricing or construction. Subject to detailed design. Drawing to be read in conjunction with all relevant project and consultant documentation.

Architects:

TERROIR MATTHEW PULLINGER ARCHITECT

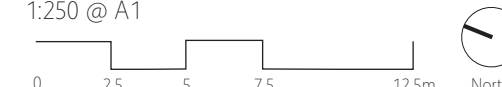
Issue: A
Date: 07/05/19
Reason: For DA Submission
For DA Submission

Reviewed by:
DW
DW

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West
Client: **eoura holdings**

Title: Planting DA Plan 1 of 1
Planting Area Schedules

Project No.: 1822
Date: 20.09.19
Scale: 1:250 @ A1



Drawing: 1822-013
Issue: B

Plant Schedule (to be read in conjunction with Planting DA Plan 1822-13):

Code	Scientific name:	Common name:	Pot size:	Mature height & spread*:	Planting density:	Quantity:	Maintenance Notes / Requirements:
	Groundcovers:						
CAS gla CI	Casuarina glauca 'Cousin It'	Sheoak	140mm Pot	200mm x 300mm	4 /m ²	380	Allow to cascade down face of retaining walls. Maintain to garden extent if it begins to encroach on paths.
CHR api	Chrysocephalum apiculatum	Yellow Buttons	90x50x50mm	200mm x 300mm	6 /m ²	170	Seasonal maintenance to promote new growth. Maintain to garden extent if it begins to encroach on paths.
DIC arg SF	Dichondra argentea 'Silver Falls'	Silver Falls	140mm Pot	100mm x 300mm	6 /m ²	230	Allow to cascade down face of retaining walls. Maintain to garden extent if it begins to encroach on paths.
DIC rep	Dichondra repens	Kidney Groundcover	90x90x50mm	100mm x 300mm	6 /m ²	475	Allow to form a natural weed-cover within garden areas.
GRE lan MT	Grevillea lanigera 'Mt Tamboritha'	Spider Flower	140mm Pot	100mm x 300mm	4 /m ²	310	Seasonal maintenance to promote new growth. Maintain to garden extent if it begins to encroach on paths.
HIB sca	Hibbertia scandens	Guinea Flower	140mm Pot	400mm x 1000mm	4 /m ²	120	Allow to cascade down face of retaining walls. Maintain to garden extent if it begins to encroach on paths.
SEN man	Senecio mandraliscae	Blue Chalk Fingers	200mm Pot	300mm x 600mm	4 /m ²	142	Seasonal maintenance to promote new growth.
VIO hed	Viola hederacea	Native Violet	90x50x50mm	100mm x 300mm	6 /m ²	865	Allow to form a natural weed-cover within garden areas.
ZEP can	Zephyranthes candida	White Wind Flower	140mm Pot	200mm x 300mm	6 /m ²	220	
	Vines:						
CIS ant	Cissus antarctica	Kangaroo Vine	140mm Pot	-	-	42	Allow to climb up wire structures on façade of building. Seasonal maintenance as required to ensure vine contained to wire supports.
THU myo	Thunbergia mysorensis	Indian Clock Vine	140mm Pot	-	-	32	Allow to climb up wire structures on façade of building. Seasonal maintenance as required to ensure vine contained to wire supports and to remove any dead vegetation.
	Grasses, Ferns + Broad-leaved:						
ADI aet	Adiantum aethiopicum	Common Maidenhair	140mm Pot	300mm x 300mm	6 /m ²	110	
ALC imp SP	Alcantarea imperialis 'Silver Plum'	Bromeliad	200mm Pot	500mm x 500mm	1 /m ²	68	
ALO bri	Alocasia brisbanensis	Cunjevoi	200mm Pot	1.5m x 1m	2 /m ²	38	Seasonal maintenance as required to remove dead foliage. Remove seed pod when they seasonally appear.
ALP zer	Alpinia zerumbet	Shell Ginger	200mm Pot	1.8m x 1m	2 /m ²	76	Seasonal maintenance as required to remove dead foliage.
ANI BG	Anigozanthos 'Bush Gold'	Kangaroo Paw	140mm Pot	500mm x 500mm	4 /m ²	160	Seasonal maintenance as required to remove dead flowers and promote new growth.
ART cir	Arthropodium cirratum	New Zealand Rock Lilly	200mm Pot	600mm x 600mm	4 /m ²	90	Seasonal maintenance as required to remove dead flowers and promote new growth.
ASP aus	Asplenium australasicum	Birds Nest Fern	200mm Pot	1m x 1m	1 /m ²	78	Seasonal maintenance as required to remove dead foliage.
ASP ela	Aspidistra elatior	Cast Iron Plant	200mm Pot	500mm x 500mm	4 /m ²	80	Seasonal maintenance as required to remove dead foliage.
CAR app	Carex appressa	Tall Sedge	90x50x50mm	600mm x 600mm	6 /m ²	80	Seasonal maintenance to promote new growth.
CLI min	Clivia miniata	Clivia	140mm Pot	400mm x 400mm	4 /m ²	146	Seasonal maintenance to remove dead flowers.
CRI ped	Crinum pedunculatum	Swamp Lilly	200mm Pot	1m x 0.5m	4 /m ²	166	Seasonal maintenance to remove dead flowers.
CTE set	Ctenanthe setosa 'Grey Star'		140mm Pot	1m x 0.5m	3 /m ²	90	Seasonal maintenance as required to remove dead foliage.
DIA cae	Dianella caerulea	Blue Flax Lily	90x50x50mm	400mm x 400mm	6 /m ²	170	
DIA cae LJ	Dianella caerulea 'Little Jess'	Blue Flax Lily	90x50x50mm	400mm x 400mm	6 /m ²	310	
DIA rev LR	Dianella revoluta 'Little Rev'	Blue Flax Lily	140mm Pot	400mm x 400mm	6 /m ²	30	
DIC ant	Dicksonia antarctica	Tree Fern	1-2m height	4m x 2m	1 /m ²	24	Seasonal maintenance to remove dead foliage.
DOO asp	Doodia aspera	Prickly Rasp Fern	140mm Pot	400mm x 400mm	6 /m ²	110	Seasonal maintenance to promote new growth.
DOR exc	Doryanthes excelsa	Gymea Lilly	200mm Pot	1.5m x 1m	1 /m ²	157	Seasonal maintenance to remove dead flowers.
FIC nod	Ficinia nodosa	Knobby Clubrush	90x50x50mm	600mm x 600mm	4 /m ²	170	Seasonal maintenance to promote new growth.
HEL psi	Heliconia psittacorum L.f cv. 'Andromeda'	Heliconia (Orange)	200mm Pot	1m x 0.5m	3 /m ²	90	Seasonal maintenance to remove dead flowers and foliage.
HEL psi RC	Heliconia psittacorum 'Red Christmas'	Heliconia (Red)	200mm Pot	1m x 0.5m	3 /m ²	40	Seasonal maintenance to remove dead flowers and foliage.
IMP cyl	Imperata clindrica	Blady Grass	90x50x50mm	600mm x 600mm	6 /m ²	80	Seasonal maintenance to promote new growth.
LIR mus EG	Liriope muscari 'Evergreen Giant'	Giant Mondo	140mm Pot	600mm x 600mm	4 /m ²	260	
LOM lon	Lomandra longifolia	Mat Rush	90x50x50mm	1m x 0.8m	4 /m ²	160	
LOM lon T	Lomandra longifolia 'Tanika'	Lomandra Tanika	140mm Pot	500mm x 500mm	6 /m ²	230	
MOL cap	Molinieria capitalata	Weevil Lilly	140mm Pot	1m x 0.5m	3 /m ²	190	Seasonal maintenance to remove dead foliage.
PLA sp.	Platycerium sp.	Staghorns & Elkhorns	Approx. 500mm	N/A	-	8	Fixed on stone-clad walls.
POA lab E	Poa labillardieri 'Eskdale'	Common Tussock Grass	90x50x50mm	600mm x 600mm	6 /m ²	170	Seasonal maintenance to promote new growth.
THE aus	Themeda australis	Kangaroo Grass	90x50x50mm	400mm x 400mm	6 /m ²	50	Seasonal maintenance to promote new growth.

Notes:

- + * Nominal height / spread at maturity - will vary based on maintenance regimes and site growing conditions.
- + Planting design subject to detailed design and documentation.
- + Species selection subject to availability at time of tendering and construction.



CAR gla CI: Casuarina glauca 'Cousin It' CHR api: Chrysocephalum apiculatum DIC arg SF: Dichondra argentea 'Silver Falls' DIC rep: Dichondra repens GRE lan MT: Grevillea lanigera 'Mt Tamboritha' HIB sca: Hibbertia scandens



SEN man: Senecio mandraliscae VIO hed: Viola hederacea ZEP can: Zephyranthes candida CIS ant: Cissus antarctica THU myo: Thunbergia mysorensis ADI aet: Adiantum aethiopicum



ALC imp SP: Alcantarea imperialis 'Silver Plum' ALO bri: Alocasia brisbanensis ALP zer: Alpinia zerumbet ANI BG: Anigozanthos 'Bush Gold' ART cir: Arthropodium cirratum ASP aus: Asplenium australasicum



ASP ela: Aspidistra elatior CAR app: Carex appressa CLI min: Clivia miniata CRI ped: Crinum pedunculatum CTE set: Ctenanthe setosa 'Grey Star' DIA cae: Dianella caerulea



DIA cae LJ: Dianella caerulea 'Little Jess' DIA rev LR: Dianella revoluta 'Little Rev' DIC ant: Dicksonia antarctica DOO asp: Doodia aspera DOR exc: Doryanthes excelsa FIC nod: Ficinia nodosa



HEL psi: Heliconia psittacorum L.f cv. 'Andromeda' HEL psi RC: Heliconia psittacorum 'Red Christmas' IMP cyl: Imperata cylindrica LIR mus EG: Liriope muscari 'Evergreen Giant' LON lon: Lomandra longifolia LOM lon T: Lomandra longifolia 'Tanika'



MOL cap: Molinieria capitalata PLA sp.: Platycerium sp. POA lab E: Poa labillardieri 'Eskdale' THE aus: Themeda australis

Plant Schedule Continued (to be read in conjunction with Planting DA Plan 1822-13):

Code	Scientific name:	Common name:	Pot size:	Mature height & spread*:	Planting density:	Quantity:	Maintenance Notes / Requirements:
Shrubs + Screening:							
CAL BJ	Callistemon 'Better John'	Dwarf Callistemon	140mm Pot	800mm x 800mm	3 /m ²	30	Seasonal maintenance as required to maintain compact form 800x800mm.
COR alb	Correa alba	White Correa	200mm Pot	1.5m x 1.5m	2 /m ²	39	Seasonal maintenance as required to maintain compact form 1x1m.
GRE S	Grevillea 'Superb'	Grevillea Superb (Red/Orange)	200mm Pot	2m x 1.5m	1 /m ²	20	Seasonal maintenance as required to maintain compact form 1.8m height by 1.5m spread.
HAR vio	Hardenbergia violacea	Purple Coral Pea	140mm Pot	800mm x 800mm	3 /m ²	50	Seasonal maintenance as required to maintain compact form 800x800mm.
MEL lin CT	Melaleuca linarifolia 'Claret Tops'	Honey Myrtle	140mm Pot	1m x 1m	3 /m ²	150	Seasonal maintenance as required to maintain compact form 800x800mm.
RHA ind SM	Rhaphiolepis indica 'Snow Maiden'	Indian Hawthorn White	140mm Pot	800mm x 800mm	3 /m ²	215	Seasonal maintenance as required to maintain compact form 800x800mm.
SYZ aus R	Syzygium australe 'Resilience'	Lilly Pilly	45L	2m x 1.5m	1 /m ²	54	Seasonal maintenance as required to maintain informal screen to 1.8-2m height by 800mm spread.
THY max	Thysanolaena maxima	Tiger Grass	200mm Pot	2m x 1.5m	1 /m ²	52	Seasonal maintenance to remove dead foliage.
VIB odo EL	Viburnum odoratissimum 'Emerald Lustre'	Viburnum	45L	2m x 1.5m	1 /m ²	58	Seasonal maintenance as required to maintain informal screen to 1.8-2m height by 800mm spread.
WES fru	Westringia fruticosa	Coastal Rosemary	200mm Pot	1.5m x 1.5m	1 /m ²	71	Seasonal maintenance as required to maintain compact form 1x1m.
WES fru GB	Westringia fruticosa 'Grey Box'	Compact Coastal Rosemary	140mm Pot	400mm x 400mm	4 /m ²	250	Seasonal maintenance as required to maintain compact form 400x400mm.
Trees:							
ANG cos	Angophora costata	Smooth- Barked Apple	75L	15m x 10m	-	13	Seasonal maintenance as required. Staking required 2 No. 50x50x1800mm hardwood stakes.
ANG flo	Angophora floribunda	Rough-barked Apple	75L	20m x 10m	-	2	Seasonal maintenance as required. Staking required 2 No. 50x50x1800mm hardwood stakes.
ARC cun	Archontophoenix cunninghamiana	Bangalow Palm	Mix of 2-4m height	5-8m x 3m	-	12	Seasonal maintenance as required. To remove fronds and seed pods. Support wires may be required for establishment.
BAC myr	Backhousia myrtifolia	Lemon Scented Myrtle	75L	4m x 2m	-	2	Seasonal maintenance as required. Staking required 2 No. 50x50x1800mm hardwood stakes.
ELA ret	Elaeocarpus reticulatus	Blueberry Ash	75L	9m x 4m	-	16	Seasonal maintenance as required. Maintain clear trunk 1.5m height.
EUC mac	Eucalyptus maculata	Spotted Gum	75L	20m x 10m	-	2	Seasonal maintenance as required. Staking required 2 No. 50x50x1800mm hardwood stakes.
EUC sid	Eucalyptus sideroxylon	Mugga Ironbark	75L	15m x 10m	-	2	Seasonal maintenance as required. Staking required 2 No. 50x50x1800mm hardwood stakes.
HOW for	Howea forsterana	Lord Howe Island Palm	Mix of 2-4m height	5-8m x 3m	-	13	Seasonal maintenance as required. To remove fronds and seed pods. Support wires may be required for establishment.
LAG ind	Lagerstroemia indica x fauriei 'Tuscarora (Hot Pink)'	Crepe Myrtle	75L	5m x 3m		8	Seasonal maintenance as required to maintain compact form.
LIV aus	Livistona australis	Cabbage Palm	Mix of 2-6m height	12-20m x 3m	-	13	Seasonal maintenance as required. To remove fronds and seed pods. Support wires may be required for establishment.
RAN fit	Randia fitzalanii	Native Gardenia	75L	5m x 3m	-	4	Seasonal maintenance as required. To remove seed pods.
TRI lau	Tristaniopsis laurina	Water Gum	75L	8m x 4m	-	11	Seasonal maintenance as required. Staking required 2 No. 50x50x1800mm hardwood stakes.
Street Trees (as specified by City of Canada Bay Council, 18.12.18):							
ANG flo	Angophora floribunda	Rough-barked Apple	75L	20m x 10m	-	11	Street trees within road verge. Installed to Council requirements including staking and root barriers. Seasonal maintenance as required. Species selected by Council.
EUC pun	Eucalyptus punctata	Grey Gum	75L	30m x 10m	-	11	Street trees within road verge. Installed to Council requirements including staking and root barriers. Seasonal maintenance as required. Species selected by Council.
Turf:							
Road verge	Village Green ' Kikuyu'	-	-	-	-	247 m ²	Maintain 40-60mm height.
Grassed area	Village Green ' Kikuyu'	-	-	-	-	433 m ²	Maintain 40-60mm height.

Notes:

- + * Nominal height / spread at maturity - will vary based on maintenance regimes and site growing conditions.
- + Planting design subject to detailed design and documentation.
- + Species selection subject to availability at time of tendering and construction.



CAL BJ: Callistemon 'Better John'



COR alb: Correa alba



GRE S: Grevillea 'Superb'



HAR vio: Hardenbergia violacea



MEL lin CT: Melaleuca linarifolia 'Claret Tops'



RHA ind SM: Rhaphiolepis indica 'Snow Maiden'



SYZ aus R: Syzygium australe 'Resilience'



THY max: Thysanolaena maxima



VIB odo EL: V. odoratissimum 'Emerald Lustre'



WES fru: Westringia fruticosa



WES fru GB: Westringia fruticosa 'Grey Box'



ANG cos: Angophora costata



ARC cun: Archontophoenix cunninghamiana



BAC myr: Backhousia myrtifolia



ELA ret: Elaeocarpus reticulatus



EUC mac: Eucalyptus maculata



EUC sid: Eucalyptus sideroxylon



HOW for: Howea forsterana



LAG ind: Lagerstroemia indica x fauriei 'Tuscarora (Hot Pink)'



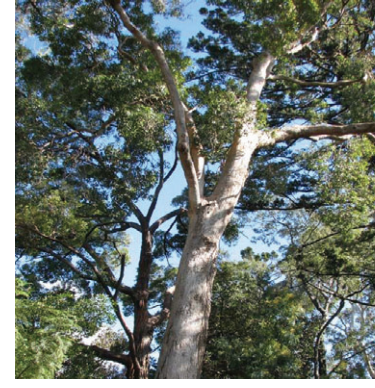
LIV aus: Livistona australis



RAN fit: Randia fitzalanii



TRI lau: Tristaniopsis laurina



ANG flo: Angophora floribunda



EUC pun: Eucalyptus punctata

FUTURE
DEVELOPMENT



Legend:

- Property boundary - extent of new construction works.
- Trees identified by project arborist to be retained and protected. Trees either located within property boundary or within close proximity to boundary that may be impacted by new works occurring within property boundary.
- Trees identified to be removed either due to poor form, health and vigour or because they are a noxious weed species.
- Tree Protection Zones (TPZ) - refer to arborist report.
- Structural Root Zones (SRZ) - refer to arborist report.
- Trees surveyed (by project surveyor) outside of construction works zone and not within proximity to construction works. Not included within arborist report.

Note:

+ Indicative and illustrative information purposes only.
Refer to arborist report prepared by Tree IQ for all tree assessment works.

Tree Schedule:

New canopy trees to be installed:	19
New small to mid sized trees to be installed:	41
New palms to be installed:	38
New street trees to be installed:	22
Trees to be removed within the site (either due to poor form, health and vigour or because they are a noxious weed species):	9
Trees to be removed and replaced outside the site within the streetscape along Rothwell Avenue (as requested by Council due to poor form, health and vigour):	2



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Registered Landscape Architects
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Architects:

TERROIR MATTHEW PULLINGER ARCHITECT

Issue: A 07/05/19 For DA Submission
B 20/09/19 For DA Submission

Reviewed by: DW
DW

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West

Client: eloura holdings

Title: Existing Tree Plan
(Information purposes only - refer to arborist report and plans prepared by Tree IQ)

Project No.: 1822
Date: 20/09/19
Scale: 1:250 @ A1

0 2.5 5 7.5 12.5m North

Drawing: 1822-016
Issue: B

Furniture & Fencing/Balustrades within Property Boundary (excludes public pedestrian pathways):



Compliant seating will be located surrounding the open grassed area and entry area to the new apartments. SFA 'Forum' seat, hardwood timber battens, powdercoated aluminium frame. Seat to include armrests.



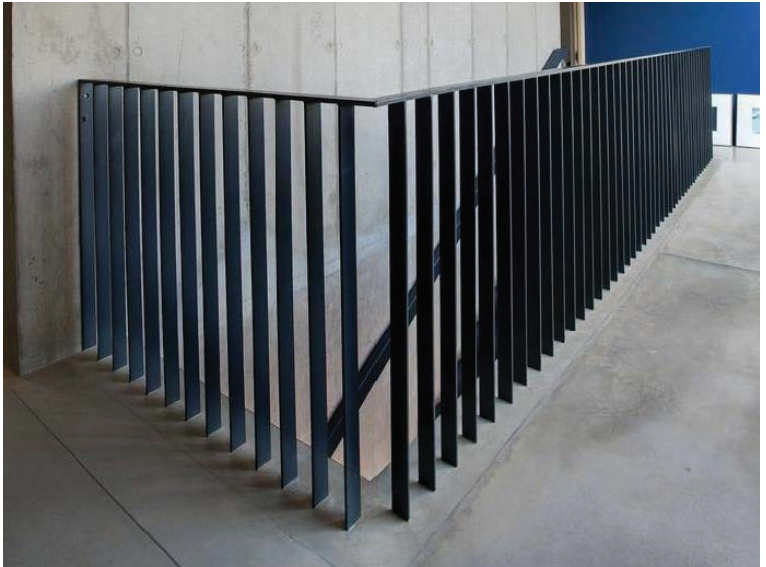
Bike racks will be located within the entry area to the new apartments. SFA 'Semi Hoop', stainless steel finish.



A cantilever shade structure will provide protection for the communal open space area. Steel frame with protective coating finish, hardwood timber battens.



Fencing between terraces and a balustrade will consist of a simple steel blade structure, protective coating system to match architectural steel work.



Feature landscape walls will be constructed brickwork to match the architectural palette.



Surface Treatments within Property Boundary (excludes public pedestrian pathways):



Primary surface treatment to be stone unit paving installed on mortar bedding and reinforced concrete base slab. Contrasting stone colour and texture will be used selectively throughout.



Secondary surface treatment to be reinforced, full depth coloured concrete pathways with lightly exposed aggregate treatment.



Informal steppers through garden areas connect through to secondary entry points of groundfloor terraces.



Informal pathway connections from private terraces to the Reserve (located within property boundary). Pathway to be constructed of decomposed granite gravel.

Public Pedestrian Pathway Ramp & Stair Connection to Powells Creek Reserve:

Note: City of Canada Bay Council officers provided the following direction with regards to the preferred street furniture, pedestrian lighting and surface treatments for use within the public pedestrian pathway (information received from Karen Lettice on 18.12.18).



Bench seating to be located along the length of the pedestrian pathway, as specified by Council. Note: bench to include armrests and colour/finish to be confirmed by Council.



Compliant concrete stairs along pedestrian pathway with stainless steel handrails and tactile surface indicators compliant to AS1428.1.



Reinforced concrete pathway with broom finish, 2.0m width. Pathway to be surrounded with robust, low-maintenance native planting and shade trees.

Pedestrian lighting:

Supplier:	TBC by Council
Product Model:	AUS-GL-002
Power:	70W
LED Type:	Bridgelux
Driver Brand:	Meanwell/SAA approval
Housing Colour:	TBC by Council
Material:	Aluminium 1.5mm thickness
Screw:	Stainless Steel
Fixing and Fittings Colour:	TBC by Council
General:	Specify 4100K or 5600k; asymmetric wide, asymmetric forward or symmetric as suits the location and intended use.
Pole:	Material shall be hot dipped galvanised steel, aluminium or stainless steel. Mounting shall be by rag bolt assembly on a plinth projecting at least 150mm above the adjacent natural surface level. Height shall be minimum 5m. Spacings as per electrical engineer detailed design.

Seating:

Supplier:	Emerdyn
Product Model:	EM078
Length:	1800mm
Battens:	Composite battens 63x30mm, colour TBC by Council.
Frame:	Steel, powder coated, colour TBC by Council.
Fixings:	Surface mounted fixings, installed to manufacturers specification.
Other:	2 No. armrests to be included for bench seats.

Concrete Pathway & Stairs:

Pathway & stairs specification:	Reinforced concrete pathway and stairs to Council specification, 130mm thickness, broom finish.
Pathway width:	2.0m
Handrail:	Stainless steel CHS tube and post 38mm dia, base plate fixing, compliant to AS1428.1.
Tactiles:	Tactile surface indicators to meet Council specification. Installed to be compliant with AS1428.1.



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Architects:

TERROIR MATTHEW PULLINGER ARCHITECT

Issue: A
Date: 07/05/19
Reason: For DA Submission
For DA Submission

Reviewed by: DW
DW

Project: Rothwell Avenue Apartments
2, 2A & 4 Rothwell Avenue Concord West

Client: eloura holdings

Title: Indicative Materials & Finishes Palette

Project No.: 1822
Date: 20.09.19
Scale: N/A @ A1

Drawing: 1822-017
Issue: B